

AGENDA

Board of Zoning Appeals / Planning Commission Meeting
Tuesday, August 08, 2023 - 6:00pm

Pre-agenda @ 5:00pm

✧ **Call to Order**

✧ **Roll Call**

✧ **Approval of Agenda – August 08, 2023**

✧ **Request item to be removed from agenda:**

- PC2329: Woo Joo Jang request a variance of to establish a use as a truck/trailer stop with no merchandise sales to be located at 220 Dean Forest Road. PIN 60924A 02004

✧ **Approval of Board of Zoning Appeals/Planning Commission Minutes**

- July 11, 2023

✧ **Zoning Appeals**

- PC2328: Steven Carbone request a variance from Sec. 90-11 to have a building on a lot that doesn't abut a publicly dedicated, publicly approved or publicly maintained street at 1622 Dean Forest Road. PIN 60988A 02007

✧ **Adjournment**

✧ **Planning Commission**

- PC2319: Steve Carbone; Industrial Electro Mechanics requests a general development review of property 1622 Dean Forest Road; PIN 60988A 02007 for a mechanic shop.
- PC2323: Beacon Outdoor Advertising; requests a general development plan review for billboard at 5195 Ogeechee Road; PIN 60990D 01-005.

✧ **Adjournment**

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S CONSOLIDATED BOARD OF ZONING APPEALS/PLANNING
COMMISSION AND STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWERS OF THE
BOARD OF ZONING APPEALS AND THE PLANNING COMMISSION**

I. Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission on matters referred to it shall be called to order by the presiding officer.
- (2) The presiding officer shall open the hearing by stating the specific zoning matter being considered at the public hearing, and shall explain the procedures to be followed in the conduct of the hearing and further stating that printed copies of the adopted standards governing the exercise of the zoning powers of the Board of Zoning Appeals and Planning Commission, and the procedures governing hearings before the Board are available to the public.
- (3) The presiding officer shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (4) When there is a large number of individuals wishing to testify at a hearing, the presiding officer may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The presiding officer may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (5) The petitioner requesting the proposed decision, or the petitioner's agent, shall be recognized first and shall be permitted to present and explain the request for the decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the matter.
- (6) After all individuals have had an opportunity to speak in accordance with subparagraph (5) above, those individuals present at the public hearing who wish to speak in opposition to the proposed decision shall have an opportunity to speak.
- (7) Once all parties have concluded their testimony, the presiding officer shall adjourn the public hearing.

II. Standards Governing the Exercise of The Zoning Powers of Garden City's Board of Zoning Appeals:

The Board of Zoning Appeals shall have the following powers:

- (1) To hear and decide appeals where it is alleging that there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 90 of the Garden City Code of Ordinances.
- (2) To decide upon requests for permission to establish uses which the Board of Zoning Appeals is required to pass under the terms of Chapter 90 of the Garden City Code of Ordinances. The application to establish such use shall be approved on a finding of the Board of Zoning Appeals that:
 - (a) The proposed use does not affect adversely the general plans for the physical development of the city, as embodied in Chapter 90 of the Garden City Code of Ordinances and in any master plan or portion thereof adopted by the Mayor and Council.
 - (b) The proposed use will not be contrary to the purposes stated for Chapter 90 of the Garden City Code of Ordinances.
 - (c) The proposed use will not affect adversely the health and safety of residents and workers in the city.
 - (d) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.
 - (e) The proposed use will not adversely affect the existing uses in the neighborhood.
 - (f) The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of such use.
 - (g) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.

- (h) The standards set forth for each particular use for which a permit may be granted have been met.

The Board of Zoning Appeals may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community and to protect the value and use of the property in the general neighborhood. The proposed use shall be subject to the minimum area, setback, and other locational requirements of the zoning district in which it will be located. The proposed use shall be subject to the off-street parking and service requirements of Chapter 90 of the Garden City Code of Ordinances. Wherever the Board of Zoning Appeals shall find, in the case of any permit granted pursuant to the provisions of said Chapter 90, that any of the terms, conditions or restrictions upon which such permit was granted are not being complied with, the Board shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.

- (3) To authorize upon appeal in specific cases such variance from the terms of Chapter 90 of the Garden City Code of Ordinances as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of said Chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the Board of Appeals that:
 - (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
 - (b) The application of said Chapter 90 to this particular piece of property would create practical difficulty or unnecessary hardship;
 - (c) Such conditions are peculiar to the particular piece of property involved; and,
 - (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of said Chapter 90.

No variance shall be granted for a use of land or building or structure that is prohibited by Chapter 90 of the Garden City Code of Ordinances.

III. Powers and Duties of the Planning Commission.

The Planning Commission is granted all powers and is assigned all duties that the City's Mayor and Council is authorized and empowered to grant and assign, to include the following:

- (1) Making comprehensive surveys and studies of existing conditions and probable future developments and preparing such plans for physical, social, and economic growth as will best promote the public health, safety, morals, convenience, prosperity, or general welfare, as well as efficiency and economy in the development of the city.
- (2) Preparing a master plan or parts thereof for the development of the city.
- (3) Preparing and recommending for adoption to the city council a zoning ordinance or resolution and map for the city.
- (4) Preparing and recommending for adoption to the city council regulations for the subdivision of land within the city, and administering the regulations that may be adopted.
- (5) Preparing and recommending for adoption to the city council a plat or an official map showing the exact location of the boundary lines of existing, proposed, extended, widened, or narrowed streets, public open spaces, or public building sites, together with regulations to control the erection of buildings or other structures within such lines, within the city or a specified portion thereof.
- (6) Making, publishing, and distributing maps, plans, and reports and recommendations relating to the master plan and development of the city to public officials and agencies, public utility companies and civic, educational, professional, and other organizations and citizens.
- (7) Recommending to the executive or legislative officials of the city programs for public improvements and the financing thereof.
- (8) Reviewing all proposed amendments to the zoning ordinance, the subdivision ordinance, and the zoning map, and making recommendation as per Garden City Code Section 90-201 in each case to the city council for approval or denial.
- (9) Approving site and development plans as per Garden City Code Sections 90-43, 90-47, 90-48 and 90-49.
- (10) Approving certain uses in the mixed-use zoning districts as per Garden City Code Section 90-49.

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S MAYOR AND COUNCIL
AND STANDARDS GOVERNING THE EXERCISE OF CITY COUNCIL'S ZONING POWER**

Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Board of Zoning Appeals for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings by the Mayor and Council on zoning amendments shall be chaired by the Mayor.
- (2) The Mayor shall open the hearing by stating the specific zoning amendment being considered at the public hearing and further stating that printed copies of the adopted standards governing the exercise of the Mayor and Council's zoning power and the procedures governing the hearing are available to the public.
- (3) The Director of the City's Planning and Zoning Department shall advise the Mayor and Council of the recommendation of the Planning Commission when applicable.
- (4) The Mayor shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (5) When there is a large number of individuals wishing to testify at a hearing, the Mayor may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The Mayor may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (6) The petitioner requesting such zoning decision, or the applicant's agent, shall be recognized first and shall be permitted to present and explain the request for the zoning decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the zoning decision.
- (7) After all individuals have had an opportunity to speak in accordance with subparagraph (6) above, those individuals present at the public hearing who wish to speak in opposition to the requested zoning decision shall have an opportunity to speak.
- (8) The Mayor may limit repetitious comments in the interest of time and may call for a show of hands of those persons present in favor of or opposed to the proposed decision.
- (9) It shall be the duty of the Mayor to maintain decorum and to assure the public hearing on the proposed decision is conducted in a fair and orderly manner.
- (10) Once all parties have concluded their testimony, the Mayor shall adjourn the public hearing.

Standards Governing the Exercise of The Zoning Powers of Garden City's Mayor and Council:

Prior to making a zoning amendment, the Mayor and Council shall evaluate the merits of a proposed amendment according to the following criteria:

- (1) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (2) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (3) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
- (4) Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?
- (5) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- (6) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?

Board of Zoning Appeals/Planning Commission
July 11, 2023 - 6:00PM

Opening: Chair Billy Jackson welcomed everyone and called the meeting to order.

Roll Call: Billy Jackson; Chair, Jenecia Perry; Vice-Chair, Michael Bruner; Parliamentarian, Jeff Ashley, Nancy Cox and Gary Monroe. Charles Orrel and Misty Selph were absent

Staff: Denise Grabowski (Planning Manager -Consultant) and Jonathan Trego (Planning and Zoning Supervisor)

Visitors: Enclosed

Chairman Jackson asked for a motion to approve the July 11, 2023 agenda. Vice Chair Perry made a motion to approve the agenda. Commissioner Cox seconded; vote passes with no opposition.

Chairman Jackson asked for a motion to approve June 13, 2023 minutes. Vice-Chair Perry a motion to approve the agenda, Commissioner Cox seconded, vote passes with no opposition.

Board of Zoning Appeals

PC2327: Sabriya Scott, Scott Realty Professionals, request a variance from Section 90-72 to build a single-family home with 5ft setbacks on each side at 0 Old Louisville Road; PIN 60825 03030

Chairman Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City Staff recommended approval of the variance request.

Latosha Hall; Scott Realty Professionals, stated the lot is 6360 sq. ft. and we are here to ask for a 5ft setback instead of the 8ft setback requirement to accommodate the development of a single-family dwelling on a smaller lot. The adjacent house is under contract and to be renovated. Lot 29 is vacant; there are no intentions to develop. The request is to build an affordable home next to the renovated home for a new resident in Garden City. We are proposing to sell both properties at the same time. Ms. Hall presented an exhibit of a lot that is an eyesore.

Commissioner Monroe asked Ms. Hall if Scott Realty has any other developments in Garden City?

Ms. Hall said yes; we currently have an office, homes and properties in Garden City.

Commissioner Monroe stated you all have a footprint in Garden City.

Chairman Jackson asked for questions, comments or those in favor of the request; being none he called for those in opposition. With no opposition, Chairman Jackson calls for a motion. Vice-Chair Perry makes a motion to approve, Commissioner Cox seconded. Vote passes with no opposition.

Chairman Jackson called for a motion to adjourn the Board of Zoning Appeals/Planning Commission meeting. Vice-Chair Perry made a motion to adjourn the ZBA meeting, Commissioner Bruner seconded, vote passes with no opposition.

Planning Commission

Chairman Jackson called the Planning Commission meeting to order.

PC2313: Beacon Outdoor Billboards requests a general development plan for a billboard at 2606 US Highway 80; PIN 60926 03031.

Chairman Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City Staff recommended approval of the outdoor advertising/separate use sign permit.

Lou Ferrando; Beacon Outdoor Billboard Advertising; stated the request is to build a sign in a highly traveled area, the signs are manageable for small businesses for advertising and these signs are useful tools for critical messaging.

Commissioner Monroe stated the Amber Alert was successfully implemented because of billboards. Is the messaging in real time and how often does the sign change?

Mr. Ferrando stated the time is 10 seconds per six sides at a twelve changes per day. These signs and programming are also regulated by the State in any event of emergencies- they will take over. These signs will darken at night and be brighter during the day. The billboards allow businesses an opportunity that they can't get from traditional advertising.

Commissioner Monroe said how would allowing this request benefit the city?

Mr. Ferrando said there would be communication with the City to provide signage at no charge. We have a petition in August where the owner wants to contract as a potential partnership with the City that dedicates space for PSA announcements.

Commissioner Monroe stated these are heavily traveled corridors that would be beneficial.

Chairman Jackson asked if needed how quickly are the updates to the signage?

Mr. Ferrando said signs are monitored 24 hours a day.

Commissioner Cox said this all sounds fine but I live directly across from the proposed placement, there is nothing blocking my property from seeing this; I am concerned with the lightning. It will be a nuisance to the people that live in the area and no cares because there is money to be made. I understand the business part as I was a business owner for 30 years.

Mr. Ferrando said the dimmer on the signage is less intrusive than the lights on the convenience stores. This particular artery is in transition, the design of the sign will have no impact and will be regulated by City code. We meet the setbacks, we are following the guidelines. You will see it from your front yard but there are no flashing of lights allowed, no video and the ad changes in split seconds. There has to be a balance as time has changed along the road.

Vice-Chair Perry said what is the likelihood of move a sign a football field east of the proposed location?

Mr. Ferrando said there is low consideration as the distance is regulated by the State and deals take a lot of time; it must be a win win for both parties.

Vice-Chair Perry said I am concerned with the content that could be displayed on the signage as there are families in the area.

Mr. Ferrando said it has been stipulated by the property owner that there is to be no lewd or alcohol advertisement; it is a part of the lease agreement.

Commissioner Cox said do you allow ads for guns?

Mr. Ferrando stated it's allowed if deemed appropriate, there's not much ads for gun sales but I can't say that it would be turned away. We must use discretion and play by the rules. A simple letter from the City to the Power Company can make a sign go dark. We'll do business with people in your area.

Vice-Chair Perry said it will not affect the request if the sign is moved down; there are families and children that live in this area – there should be more consideration for what is to be placed in neighborhoods.

Commissioner Monroe said I wished that we would share and show the same sentiment to all areas in Garden City when it comes to issues that negatively impact the residents. There was a request for signage near the development of where Popeyes is now located; across from Krystal and the residents believed the signage would impact the quality of life. This request passed; I went back and talked with the residents and the residents stated that there was minimal impact. I will never live down of what took place with the Farmer's Market. I supported the community but it passed – I don't have a problem with it.

Chairman Jackson asked for questions, comments or those in favor of the request; being none he called for those in opposition. With no opposition, Chairman Jackson calls for a motion. Commissioner Monroe makes a motion to approve; Commissioner Bruner seconded. Vote passes by majority with Vice-Chair Perry and Commissioner Cox voting in opposition.

PC2314: Beacon Outdoor Billboards requests for a general development plan for a billboard at 211 US Highway 80; PIN 60020 06002B

Chairman Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City Staff recommended approval of the outdoor advertising/separate use sign permit pending approval by the Georgia Department of Transportation.

Lou Ferrando; Beacon Outdoor Billboard Advertising stated this is a new sign where an old sign was removed. It is permitted for Highway 80 but visible from Highway 21. The sign is too short and too small for the interstate; it is intended for Highway 80.

Chairman Jackson asked for additional comments or questions; being none he calls for those in opposition. With no opposition; Chairman Jackson calls for a motion. Vice-Chair Perry makes a motion to approve; Commissioner Ashley seconded. Vote passes without opposition.

PC2315: Beacon Outdoor Billboards requests a general development plan for a billboard at 4904 Augusta Road; PIN 60009 02004

Chairman Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City Staff recommended approval of the outdoor advertising/separate use sign permit.

Lou Ferrando; Beacon Outdoor Billboard Advertising stated this is a new sign at the garage; it is the same characteristics as the two previous requests.

Chairman Jackson asked for questions, comments or those in favor of the request; being none he called for those in opposition. With no opposition, Chairman Jackson calls for a motion. Vice-Chair Perry makes a motion to approve; Commissioner Cox seconds the motion. Vote passes without opposition.

PC2310: Roberts Management Inc requests a general development plan for a billboard at Heidt Avenue; PIN 60802 07001A

Chairman Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City Staff recommended approval of the outdoor advertising/separate use sign permit for a static billboard, not to exceed 30 feet in height.

Denise Grabowski; Planning Consultant stated that there was an error in the GDOT office therefore denying the Lamar Outdoor advertising; Lamar is still within their appeals timeframe. The GDOT approval for the multi-message is still pending. The error is at no fault of the applicant. The Planning Commission could make approval contingent upon the final GDOT approval.

Commissioner Monroe said are all designs the same in nature?

Lou Ferrando; Beacon Outdoor Billboard Advertising said this has one side, GDOT issues two types of permits – static and MMS(Multi-Message); with the conversion it must be 5000 ft. apart, once approved there will be a mile separation difference. Mr. Ferrando stated that because of a public agenda Lamar Advertising submitted for a signage petition; however, we can't build either sign if obligations aren't met.

Commissioner Bruner said is the height requirement an issue?

Mr. Ferrando said he would like to discuss with Staff; would like for 40ft instead of 30ft.

Denise Grabowski; Planning Consultant said the petitioner would need to request for a variance for the height change; if GDOT denies this application, the City cannot issue a permit.

Vice Chair Perry said for clarity you do have approval for these two items?

Mr. Ferrando said if we can't get the multi-message approval, we will only build the static sign.

Chairman Jackson asked for questions, comments or those in favor of the request; being none he called for those in opposition. With no opposition, Chairman Jackson calls for a motion. Commissioner Bruner made a motion to approve with stipulation on meeting the 30ft vertical height requirement and it receives GDOTs approval for multi-message. Commissioner Ashley seconded the motion. Vote passes without opposition.

Denise Grabowski; Planning Consultant said I would like to address the concerns for 211 Highway 80 – the staff report references a double side sign as petitioned with the application. The application includes both MMS and static as approved; therefore, you would not have to go back and revisit the request.

Chairman Jackson said I would like to thank the Board and Staff for your dedicated service. Chairman Jackson calls for a motion to adjourn. Vice-Chair Perry makes a motion to adjourn, Commissioner Cox seconds; motion passes with no opposition.

Respectfully submitted
TTR

City of Garden City Variance Application



Development Information

Development Name (If applicable)

IEM - Morgan Rd Industrial Tract

Property Address

1622 Dean Forest Rd, Garden City, Ga 31408

Current Zoning	Current Use
P-I-2	Industrial
Parcel ID	Total Site Acreage
60988A02007	0.91

Section of the zoning code from which you are seeking a variance:

Section 90-11

Describe the variance request you are requesting.

A request to have a building on a lot that doesn't abut a publicly dedicated, publicly approved or publicly maintained street.

Would denial of this request create practical difficulty or an unnecessary hardship?

Yes, the expansion of the facility will not be possible unless approved by the City.

Does the property have extraordinary and exceptional conditions because of its size, shape or topography?

No extraordinary size, shape or topography. The property is currently served by the existing 24' wide gravel road within a 30' private easement.

Are the conditions of the property unique to this piece of property?

Access to a public street (Dean Forest Rd) is 360' away for this lot. The existing private road provides access currently to this lot as well as several other existing buildings owned by others.

Would approval of this variance request cause any detriment to adjoining properties or the community?

No, since the other parcels are also the same zoning and the existing road provides them access also.

Please provide any additional information that you deem relevant.

Morgan Road is a 30' private easement established for access and utility easement for all the properties adjoining the road. The property owner will agree to maintain the gravel road from Dean Forest Rd to his parcel ($\pm 300'$)

City of Garden City Variance Application



Applicant Information

Owner	
Name	Address
INDUSTRIAL ELECTRO MECHANICS - STEVE CARBONE	1624 DEAN FOREST RD, GARDEN CITY, GA 31408
Phone	Email
912-667-0998	scarbone@iemsavannah.com
Nature of Ownership Interest	
Is the Owner an: <input checked="" type="checkbox"/> Individual <input type="checkbox"/> Partnership <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Firm <input type="checkbox"/> Corporation <input type="checkbox"/> Association	
Note: If a corporation, submit a list of officers, directors & major stockholders with name, address and title.	
If a partnership: Submit list of all partners with name, address and title.	
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
EMC ENGINEERING SERVICES, INC	ALEC METZGER
Phone	Email
912-232-6533	ALEC_METZGER@EMC-ENG.COM
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Campaign Contribution	
List below the names of local government officials, Garden City City Council, to whom campaign contributions were made, within two (2) years immediately preceding the filing of this application, which campaign contributions total \$250.00 or more or to whom gifts were made having a total value of \$250.00 or more.	
Elected Official's Name	Amount or Description of Gift

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Board of Zoning Appeals and that my application cannot be approved unless I am represented.

Steven Carbone

Print Name

Signature

6/13/23

Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: August 2, 2023
Re: PC 2328 – 1622 Dean Forest Road

<i>Application Type</i>	<i>Variance</i>
<i>Case Number</i>	PC 2328
<i>Applicant</i>	Steve Carbone
<i>Name of Project</i>	Industrial Electro Mechanics
<i>Property Address</i>	1622 Dean Forest Road
<i>Parcel IDs</i>	60988A 02007
<i>Area of Property</i>	0.91 acres
<i>Current Zoning</i>	P-I-2, Planned Industrial
<i>Proposed Land Use</i>	Mechanical shop

GENERAL INFORMATION

Project Description: The applicant is proposing to construct a mechanical shop for expansion of an existing business.

The applicant is requesting a variance from section 90-11 of the Garden City Zoning Ordinance to build on a lot that does not abut a publicly dedicated, publicly approved or publicly maintained street.

FINDINGS

Staff has determined this application is complete and contains all the required information. In conformance with the City of Garden City Zoning Ordinance Section 90-213(3), the Board of Appeals may authorize upon appeal in specific cases such variance from the terms of the zoning ordinance as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of this chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the board of appeals that:

1. *There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography;*

No, there are no unique size or shape dimensions of the lot.

2. *The application of this chapter to this particular piece of property would create practical difficulty or unnecessary hardship;*

The applicant has an existing business on the adjacent parcel. If the variance request is not approved, the applicant will not be able to expand the business at the current location.

3. *Conditions are peculiar to the particular piece of property involved; and*

The property is located on a privately-owned and maintained road. The applicant provided documentation which grants use of the road. The applicant is currently working with the owner of the road to formalize a roadway maintenance agreement.

4. *Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of this chapter.*

Approval of the variance will not be a detriment to the public good or impair the purpose and intent of this chapter.

RECOMMENDATION

Approval of the variance request to allow for the construction of a building on a lot which abuts a private street.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

PC2319: General Development Plan Review



5/3/2023, 1:00:22 PM

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City of Garden General Development Plan Application



Development Information

Development Name		
MORGAN ROAD INDUSTRIAL TRACT		
Property Address		
1622 DEAN FOREST RD, GARDEN CITY GA 31408		
Phased development?		
<input type="checkbox"/> Yes <input type="checkbox"/> No		If yes, indicate proposed number of phases:
Parcel ID	Total Site Acreage	Zoning
60988A02007	0.91	P-I-2
Project Description		
CONSTRUCTION OF A MECHANICAL SHOP WITH ASSOCIATED PARKING AND UTILITIES.		

Water Supply	Sewage Disposal
<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private

Applicant Information

Owner	
Name	Address
INDUSTRIAL ELECTRO MECHANICS - STEVE CARBONE	1624 DEAN FOREST RD, GARDEN CITY, GA 31408
Phone	Email
912-667-0998	scarbone@iemsavannah.com
<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Engineer/Surveyor	Contact (Individual Name)
EMC ENGINEERING SERVICES, INC	ALEC METZGER
Phone	Email
912-232-6533	ALEC_METZGER@EMC-ENG.COM
<input type="checkbox"/> Check here to receive staff review comments via email	
Authorized Agent (Requires Authorized Agent Form)	Contact (Individual Name)
Company Name	
Phone	Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Steven Carbone _____ 6/13/23
 Print Name Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: August 2, 2023
Re: PC 2319 – 1622 Dean Forest Road

Application Type	General Development Plan
Case Number	PC 2319
Applicant	Steve Carbone
Name of Project	Industrial Electro Mechanics
Property Address	1622 Dean Forest Road
Parcel IDs	60988A 02007
Area of Property	0.91 acres
Current Zoning	P-I-2, Planned Industrial
Proposed Land Use	Mechanical shop

GENERAL INFORMATION

Project Description: The applicant is proposing to construct a mechanical shop for expansion of an existing business.

Pursuant to Section 90-43, Designation of P districts, a general development plan must be submitted for review and approval by the Planning Commission prior to development of the site. The general plan for a proposed P district shall include proposed uses and overall development standards and shall promote an environment of stable and desirable character in harmony with the established or proposed land use pattern in surrounding areas.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- 1. Proposed uses and overall development plan*

The applicant is proposing to develop a mechanical shop, which is allowed in I-2 zoning. The site plan indicates portions of the stormwater infrastructure encroaching on the adjacent property (to the east). The applicant will provide verification of recorded

easements providing legal access to this infrastructure for maintenance prior to the issuance of construction permits.

2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
The building is currently under design. The applicant intends to construct a light gray metal building that will be similar in color to adjacent buildings.
3. *Fences, landscaping, and buffers.*
The property is surrounded by I-2 properties, so no buffers are required. A chain link fence will be provided along Morgan Road. The applicant has provided landscaping information, which includes the planting of oaks, cypress, and elm trees.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
Access to the property is via Morgan Road, a private road off Dean Forest Road. The applicant provided a copy of the warranty deed stating his legal access to the property via Morgan Road.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

The applicant has provided the required information.

RECOMMENDATION

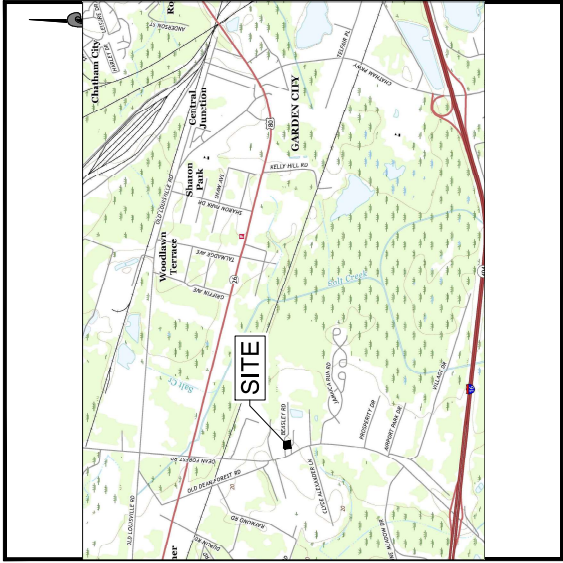
Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

SITE DEVELOPMENT PLANS
FOR
MORGAN ROAD INDUSTRIAL TRACT
GARDEN CITY, GEORGIA
Prepared for
INDUSTRIAL ELECTRO MECHANICS

PROJECT DATA	
OWNER/DEVELOPER	INDUSTRIAL ELECTRO MECHANICS 1622 DEAN FOREST ROAD GARDEN CITY, GEORGIA 31408
24-HR CONTACT	STEVE CARBOINE (912) 867-4386
TAX MAP & PARCEL NUMBER	00689A02007
PARCEL AREA	0.32 ACRES
ZONING CLASSIFICATION	P4-2
PROPOSED USE	WAREHOUSE
IMPERVIOUS AREA	0.51 AC.
DISTURBED AREA	0.04 AC.
TOTAL BUILDING AREA	14,070 SF
PARKING SPACES REQUIRED	10 SPACES
PARKING SPACES PROVIDED	10 SPACES



VICINITY MAP
NOT TO SCALE



PROJECT LOCATION:
1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA
EMC PROJECT# 22-0039
FEBRUARY 2023



EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL- MARINE - CIVIL - SURVEY

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS & CLEARING PLAN
4	STAKING & UTILITY PLAN
5	SEPTIC SYSTEM PLAN
6	PAVING, GRADING & DRAINAGE PLAN
7	LANDSCAPE PLAN
8	EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
9	CONSTRUCTION DETAILS
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS

UTILITY LOCATION DISCLAIMER

THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE UTILITY LOCATOR. EMC ENGINEERING SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THE UTILITY LOCATIONS SHOWN ON THIS PLAN. THE UTILITY LOCATOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS PLAN. THE UTILITY LOCATOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS PLAN. THE UTILITY LOCATOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS PLAN.

REVISION	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		



EMC ENGINEERING SERVICES, INC.
27 CHATHAM CENTER SOUTH, SUITE A
GARDEN CITY, GEORGIA 31408
PHONE: (912) 252-4533
FAX: (912) 252-4590
WWW.EMCSERVICES.COM

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

[illegible]

GENERAL NOTES

MORGAN ROAD INDUSTRIAL TRACT
1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA
Prepared for:
INDUSTRIAL ELECTRO MECHANICS

GEORGIA811
www.Georgia811.com
Know what's below.
Call before you dig.

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

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PROJECT NO.:	23-0039
DRAWN BY:	CFM
DESIGNED BY:	ABM
SURVEYED BY:	EMC
SURVEY DATE:	06/30/2022
CHECKED BY:	ABM
SCALE:	1" = ###'
DATE:	FEB. 2023

SHEET

NO.	REVISION DESCRIPTION	BY	DATE



EMC ENGINEERING SERVICES, INC.
 27 Champlain Center South, Suite A
 Champlain, GA 31708
 Phone: (770) 233-4533
 Fax: (770) 233-4580
 www.emc-eng.com
 email: info@emc-eng.com

OFFICE LOCATIONS: ALBANY, ATLANTA, AUGUSTA, BRUNSWICK, COLUMBUS, GAINESVILLE, GREENVILLE, SC.

UNEMPLOYMENT
 NAME: _____
 CUI: _____
 SOCIAL SECURITY: _____
 SIGNATURE: _____

SCALE: 1" = 20'

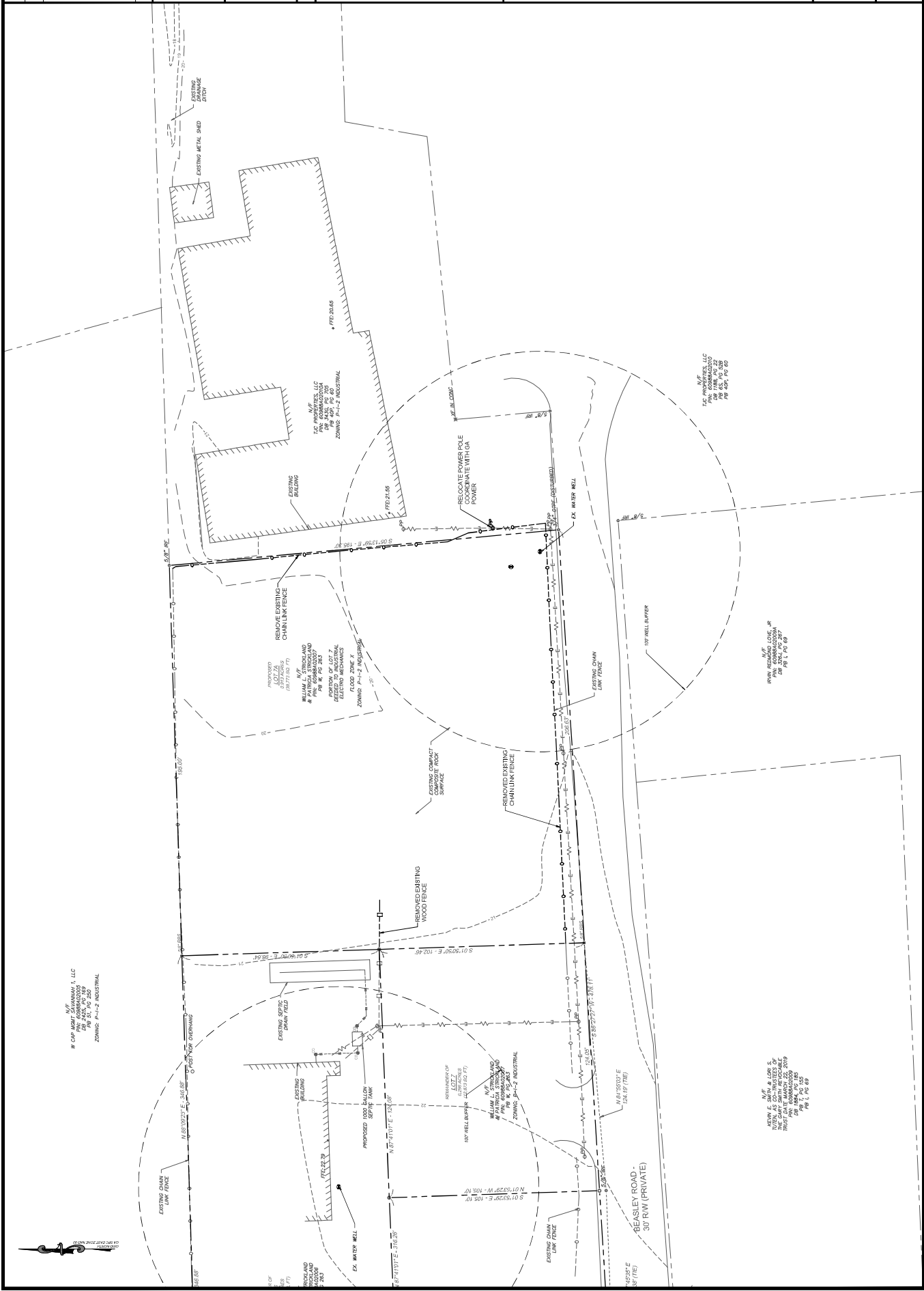
EXISTING CONDITIONS & CLEARING PLAN

MORGAN ROAD INDUSTRIAL TRACT
 1622 DEAN FOREST ROAD
 GARDEN CITY, GEORGIA

Prepared for:
INDUSTRIAL ELECTRO MECHANICS

PROJECT NO.	25003
DRAWN BY	AM
CHECKED BY	AM
SURVEYED BY	EMS
SURVEY DATE	06/30/2022
DESIGNED BY	AM
SCALE	1" = 20'
DATE	FEB. 2023

SHEET **3** OF 11



PAVING, GRADING & DRAINAGE PLAN

MORGAN ROAD INDUSTRIAL TRACT

1622 DEAN FOREST ROAD

GARDEN CITY, GEORGIA

Prepared for:

INDUSTRIAL ELECTRO MECHANICS

EMC ENGINEERING SERVICES, INC.

27 Chapman Center South, Suite A

BRUNSWICK, GA 31520

Phone: (912) 233-4333

Fax: (912) 233-4380

www.emc-eng.com

ENVIRONMENTAL

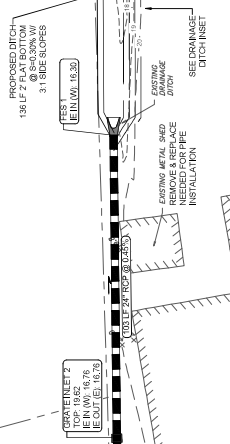
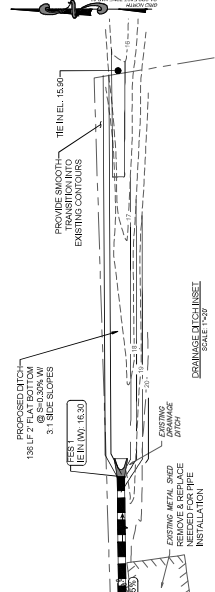
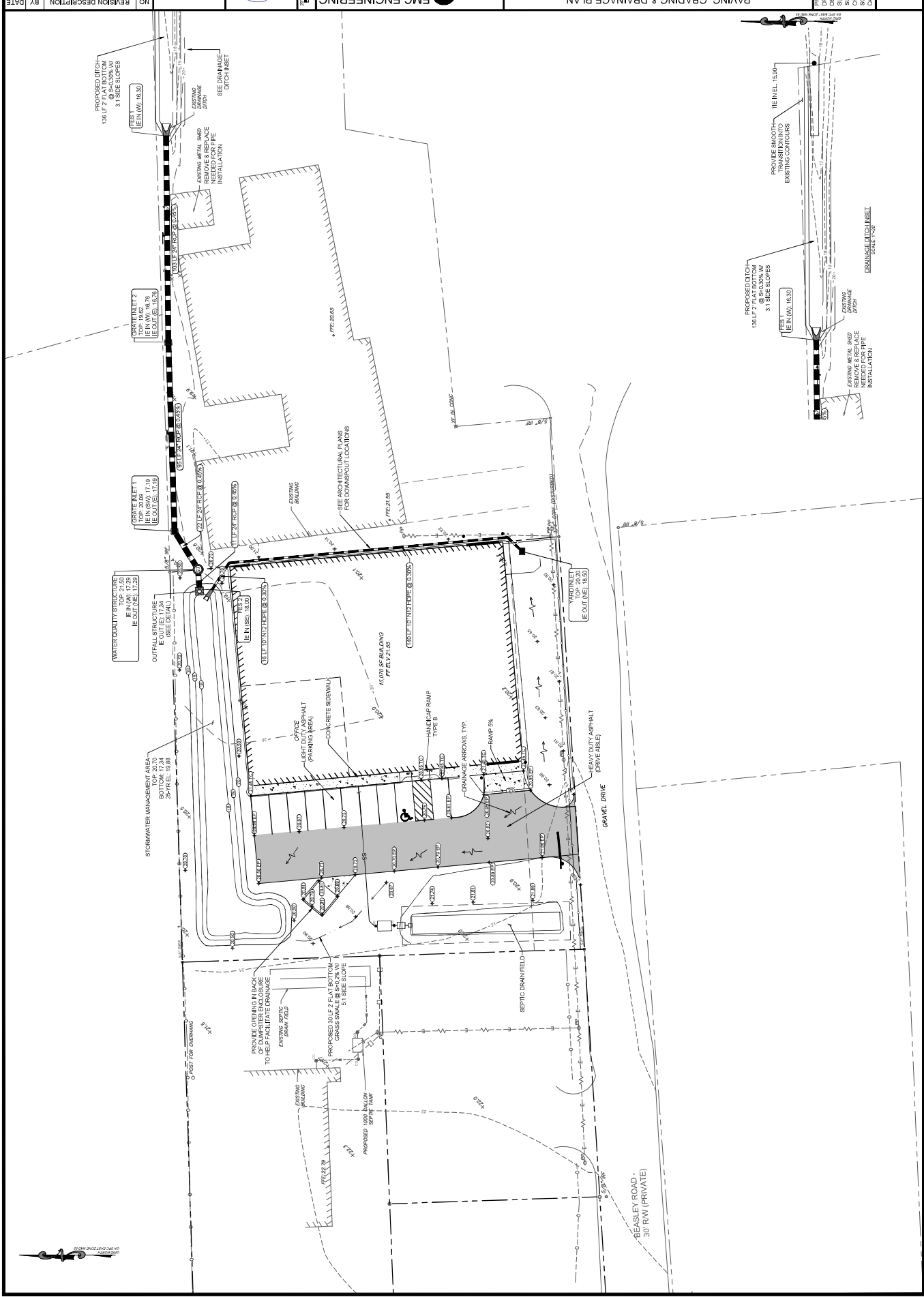
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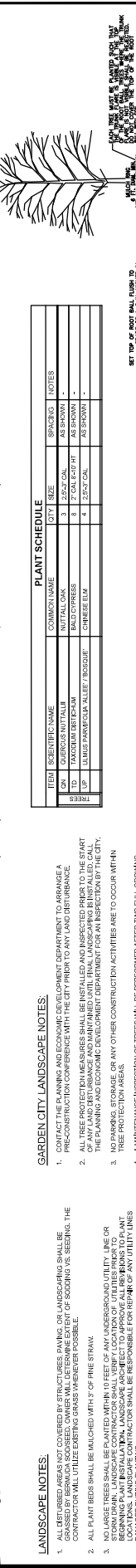
Civil

Office Locations: Albany, Atlanta, Augusta, Brunswick, Columbus, Savannah, Statesboro, Greenville, SC









NO.	REVISION DESCRIPTION	BY	DATE





LANDSCAPING LEGEND

	PROPOSED LARGE TREE
	PROPOSED SMALL TREE
	PROPOSED SHRUB
	PROPOSED PLANT QUANTITIES
	PROPOSED GROUND COVERS
	PROPOSED PLANT TYPE UNIONS

1. CONTACT THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY PRIOR TO ANY LAND DISTURBANCE.
2. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT FOR AN INSPECTION BY THE CITY.
3. NO PAVING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
4. A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNER/AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORNAMENT COMPLIANCE.
5. ALL LANDSCAPE MATERIALS, INCLUDING NURSERY STOCK, SHALL CONFORM TO THE CURRENT STANDARDS OF THE NATIONAL NURSERY STOCK ASSOCIATION (NANS) AND BE SUBJECT TO CITY INSPECTION AND APPROVAL BY THE CITY.

1. ALL PAVED AREAS NOT COVERED BY ERECTOR'S PAVING OR UNDERSEALING SHALL BE GRASSSED BY BERNARDUS MEANS OR EQUIVALENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRASSING BY BERNARDUS MEANS OR EQUIVALENT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE GRASS COVERED AREAS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE GRASS COVERED AREAS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE GRASS COVERED AREAS THROUGHOUT THE PROJECT.
2. ALL PLANT BEDS SHALL BE IRRIGATED WITH 3" OF FREE STRAW.
3. NO LARGE TREES SHALL BE REMOVED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL MAINTAIN LOCATION OF UTILITIES PRIOR TO ANY REMOVAL OF TREES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING ANY UTILITIES LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING ANY UTILITIES LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING ANY UTILITIES LOCATIONS.
4. DAMAGED DRAINAGE PAVING.
5. SEE DETAILS ON CONSTRUCTION DETAIL SHEET FOR CURB AND TREE INSTALLATION.
6. TOP SOIL SHALL BE TOP DRESS TO 12" OF TOP OF CURB EDGE OF PAVEMENT.
7. AN UNDERGROUND IRRIGATION SYSTEM IS INSTALLED. SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGISTRATION OF THE SYSTEM. SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGISTRATION OF THE SYSTEM. SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGISTRATION OF THE SYSTEM.
8. PLANTIES ARE PLANTED FOR CONFORMANCE ONLY.
9. CONTRACTOR IS RESPONSIBLE FOR ASHER OWN. TWELF.









LANDSCAPE CALCULATIONS	
TREE DENSITY UNITS REQUIRED 15 UNITS PER AC X 0.91 AC =	15
EX. TREE DENSITY UNITS = PR. TREE DENSITY UNITS =	0 15
TREE DENSITY UNITS PROVIDED	15

g. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DEFECTS DUE TO INSUFFICIENT IRRIGATION/WATERING, SUCH AS IF

TREE PLANTING
NOT TO SCALE



CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
------	----------	--------	------------	-------------

							
CONSUMER TEST	CONSUMER SURVEY	FIELD TEST	FIELD SURVEY	INTERVIEW	FOCUS GROUP	DEMONSTRATION	DEMONSTRATION
1	2	3	4	5	6	7	8
Conducting a consumer test involves presenting a new product to a small group of consumers and observing their reactions. This method is useful for gathering feedback on product features and packaging.	Conducting a consumer survey involves distributing questionnaires to a large group of consumers to gather information about their attitudes and behaviors. This method is useful for gathering data on a wide range of topics.	Conducting a field test involves testing a new product in a real-world setting, such as a store or a restaurant. This method is useful for gathering feedback on product performance and customer reactions.	Conducting a field survey involves distributing questionnaires to a large group of consumers in a real-world setting, such as a store or a restaurant. This method is useful for gathering data on a wide range of topics.	Conducting an interview involves talking to a single consumer to gather information about their attitudes and behaviors. This method is useful for gathering detailed feedback on a specific product or service.	Conducting a focus group involves gathering a group of consumers to discuss their attitudes and behaviors. This method is useful for gathering detailed feedback on a specific product or service.	Conducting a demonstration involves showing a new product to a group of consumers and explaining its features and benefits. This method is useful for gathering feedback on product performance and customer reactions.	Conducting a demonstration involves showing a new product to a group of consumers and explaining its features and benefits. This method is useful for gathering feedback on product performance and customer reactions.

[illegible]

STORM DRAIN OUTLET PROTECTION

[illegible]

ANCE:
 MOVE THE SEDIMENT ONCE IT HAS ACCUMULATED TO THE ORIGINAL HEIGHT OF THE BARRIER. REMOVE PLACE BARRIER WHENEVER IT WAS DEGRADED TO SUCH EXTENT THAT THE EFFECTIVENESS OF THE PRODUCT IS REDUCED OR THE HEIGHT OF THE PRODUCT IS NOT MAINTAINING BOX OF ITS OPENLY INSTALLED HEIGHT.
 MOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AT THE BARRIER BEFORE IT IS REMOVED. MOVE IN PLACE UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

NOTES:

1. MAXIMUM TRENCH BOX SIZES TO BE OBTAINED FROM THE MANUFACTURER.
2. MAXIMUM ALLOWABLE CONCENTRATED LOADS TO BE OBTAINED FROM THE MANUFACTURER.
3. MAXIMUM ALLOWABLE SPAN FOR LAGGING TO BE OBTAINED FROM THE MANUFACTURER.
4. MAXIMUM ALLOWABLE SPAN FOR WALERS TO BE OBTAINED FROM THE MANUFACTURER.
5. MAXIMUM ALLOWABLE SPAN FOR BRACING TO BE OBTAINED FROM THE MANUFACTURER.
6. ALL TIE-ROD POINTS SHOULD BE SECURED TO THE TRENCH BOX.
7. ALL TIE-ROD POINTS SHOULD BE ENTENDED AT LEAST 12" INTO THE EXISTING SOIL.
8. ALL TIE-ROD POINTS SHOULD BE WELDED TO THE END OF COMPACTED SOIL.

Labels:

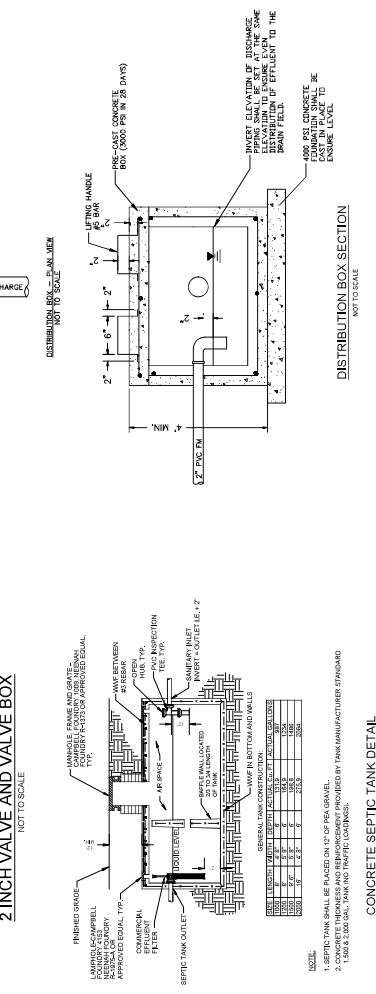
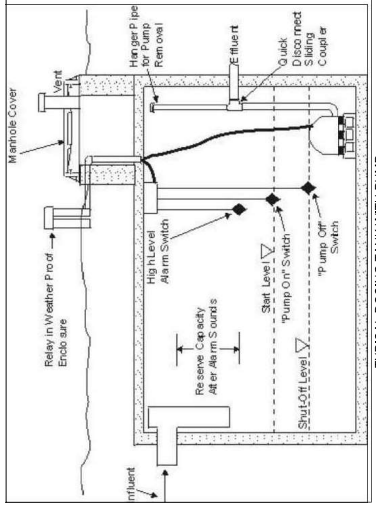
- EXISTING SOIL
- SHOULDER
- WELDED FABRIC
- SHOULDER ALERT WITH GATE
- COMPACTED STATE OR COMPACTED SOIL
- WELDED FABRIC
- SHOULDER ALERT AT CORNERS
- FABRIC WITH WELD-BOLTING SUPPORT

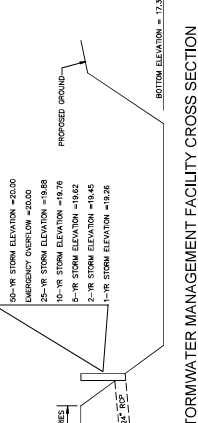
Dimensions:

- 3' MAX
- 2' MAX
- 12" MIN

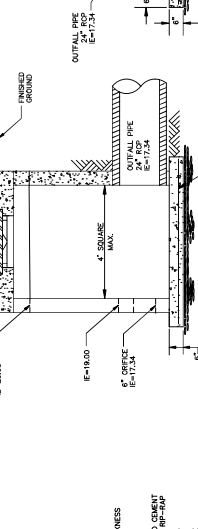
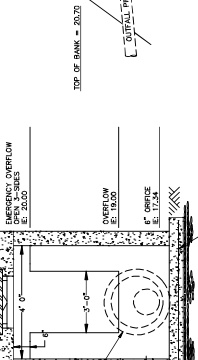
Text:

ENVIRONMENTAL AT
SHOULDER STATE OR
COMPACTED SOIL

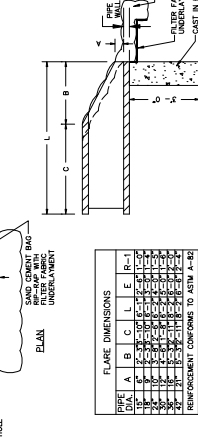


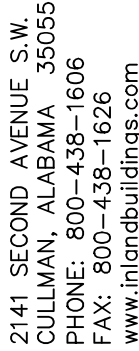


ST



THICK
SAND-
BAG
BRIC
TMENT
PLACE



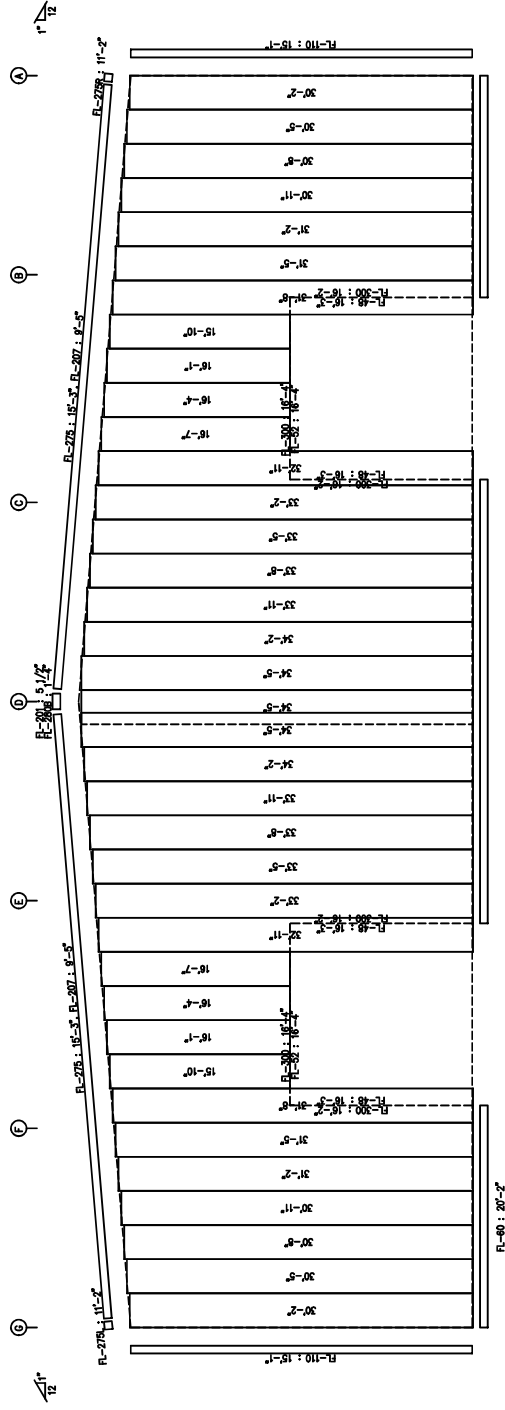


* Ordinary Steel Concentrically Braced Frame(s) and/or Ordinary Steel Moment Frame(s)

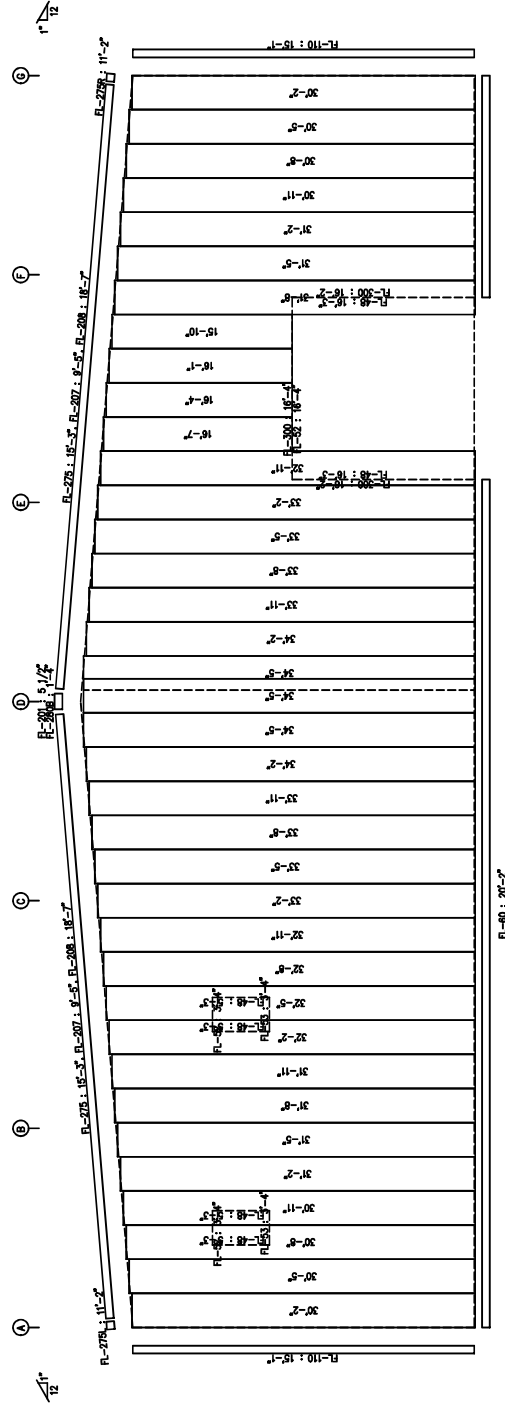
<u>PRIMARY FRAMING</u>	<u>Red-Oxide</u>
(MAIN FRAMES & ENDWALL FRAMES) (WIND COLUMNS & BENTS)	
<u>SECONDARY FRAMING</u>	<u>Red-Oxide</u>
(GIRTS, EAVE STRUTS, PURLINS DOOR/FRAMED OPNG. & CLIPS ETC.)	

IAS Certification Accredited
Certification # MB-205

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



ENDWALL SHEETING & TRIM: FRAME LINE 1
PANELS: 28 Ga. PBR - Need Std. Color



ENDWALL SHEETING & TRIM: FRAME LINE 7
PANELS: 28 Gs. PBR - Need Std. Color

GENERAL NOTES:

1. THIS DRAWING IS PREPARED BY THE ARCHITECT FOR THE PURPOSE OF OBTAINING PERMITS. IT IS NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

2. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

3. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

4. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

5. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

PERMITS REQUIRED:

1. ☐ **CON. PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

2. ☐ **PLUMBING PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

3. ☐ **ELECTRICAL PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

4. ☐ **Mechanical PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

5. ☐ **Other PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

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5. ☐ **Other PERMIT:** REQUIRED FOR APPROVAL. SEE CITY DEPARTMENT NOTIFICATION FOR APPROVAL.

GENERAL NOTES:

City of Garden General Development Plan Application



Development Information

Development Name

Beacon Outdoor Billboard

Property Address

5195 Ogeechee Rd

Phased development?

☐ Yes ☒ No

If yes, indicate proposed number of phases:

Parcel ID

60990 D01005

Total Site Acreage

13.15 Acres

Zoning

I4

Project Description

Install a digital billboard on property

Water Supply

☐ Public ☒ Private N/A

Sewage Disposal

☐ Public ☒ Private N/A

Applicant Information

Owner

Name

Eric Tucker

Address

5195 Ogeechee Rd

Phone

912-667-2417

Email

etucker@easternexcavating.com

Engineer/Surveyor

☐ Same as authorized agent

☐ Check here to receive staff review comments via email

Company Name

N/A

Contact (Individual Name)

N/A

Phone

Email

Authorized Agent (Requires Authorized Agent Form)

☐ Check here to receive staff review comments via email

Company Name

Beacon Outdoor Advertising

Contact (Individual Name)

Lou Ferrando

Phone

706-540-4212

Email

Lou@beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando

Print Name

Signature

5/15/22

Date

OFFICE USE ONLY

Received By

Date Received

Case Number

Submittal Format

☐ Electronic

☐ Paper

☐ Both

Fee Amount Paid

Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: August 2, 2023
Re: PC 2323 – Billboard – 4904 Augusta Road

<i>Application Type</i>	<i>Sign Permit/Site Plan</i>
<i>Case Number</i>	PC 2323
<i>Applicant</i>	Beacon Outdoor Billboards
<i>Name of Project</i>	Billboard
<i>Property Address</i>	5195 Ogeechee Road
<i>Parcel IDs</i>	60990D 01005
<i>Area of Property</i>	13.15 acres
<i>Current Zoning</i>	I-2
<i>Proposed Land Use</i>	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a double-sided Multiple Message Sign (MMS) LED billboard, adjacent to U.S. 17/Ogeechee Road on the same property as Ogeechee Intermodal. Each sign face (display area) is 382 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet. Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs. The application was approved by GDOT on 06/26/2023.

FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



1. All design, detailing, fabricating and construction shall conform to the following codes and specifications:

1. All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - a. The International Building Code (2018 Edition)
 - b. American Society of Testing and Materials (ASTM) specifications
 - c. Building Code Requirements for Reinforced Concrete (ACI 318M-14)
 - d. Code for Seismic Design of Reinforced Concrete and Steel Buildings (ASCE 41-17)
 - e. Specification for Design, Fabrication and Erection of Structural Steel by the American Institute of Steel Construction (AISC) (Current Edition)
2. Concrete shall be as per $f_{ck}=25\text{N/mm}^2$ P.S.I. ≈ 3600 P.S.I. ≈ 28 days (P.C.F.)
 - a. Compressive Strength, Standard Weight (150 P.C.F.)
 - b. Reinforcing Steel (Emphasized) shall be ASTM A-615 Grade 60.
 - c. All reinforcing steel shall be free from rust, oil, scale and other foreign matter.
 - d. All reinforcing steel shall pass 10 percent minimum, except as noted.
 - e. Minimum concrete cover to all supports and main bars shall be:
 - 1) 1 inch for slab, top and bottom reinforcement.
 - 2) 1 1/2 inch for columns, beams and walls.
 - 3) 2 inch for all other cast in place and precast concrete elements.
 - f. All reinforcement shall be minimum surface deformed spiral the ground except as noted.
3. Structural Material Specifications
 - a. Structural Steel and Plates shall be A-36.
 - b. W-Shape beams shall be (F_y=50 ksi) Minimum
 - c. Standard plates shall be ASTM A-360, Grade B, (F_y=48 ksi)
 - d. Structural steel shall be (F_y=50 ksi) Minimum
 - e. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - f. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - g. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - h. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - i. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - j. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - k. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - l. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - m. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - n. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - o. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - p. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - q. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - r. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - s. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - t. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - u. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - v. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - w. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - x. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - y. Reinforcing Steel shall be (F_y=60 ksi) Minimum
 - z. Reinforcing Steel shall be (F_y=60 ksi) Minimum
4. Anchor Bolt (Emphasized) shall be ASTM F-1554 Grade 36, unless otherwise noted.
 - a. Hsp. strength bolt for connections shall be ASTM A-325, unless otherwise noted.
 - b. Welding electrodes shall comply with AWS D1.1-Current Edition, (Trox).
5. Design Wind Speeds= 135 MPH (100 C.S.)
 - a. Design Wind Speeds= 135 MPH (100 C.S.)
 - b. Design Wind Speeds= 135 MPH (100 C.S.)
 - c. Design Wind Speeds= 135 MPH (100 C.S.)
 - d. Design Wind Speeds= 135 MPH (100 C.S.)
 - e. Design Wind Speeds= 135 MPH (100 C.S.)
 - f. Design Wind Speeds= 135 MPH (100 C.S.)
 - g. Design Wind Speeds= 135 MPH (100 C.S.)
 - h. Design Wind Speeds= 135 MPH (100 C.S.)
 - i. Design Wind Speeds= 135 MPH (100 C.S.)
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 - k. Design Wind Speeds= 135 MPH (100 C.S.)
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 - o. Design Wind Speeds= 135 MPH (100 C.S.)
 - p. Design Wind Speeds= 135 MPH (100 C.S.)
 - q. Design Wind Speeds= 135 MPH (100 C.S.)
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 - t. Design Wind Speeds= 135 MPH (100 C.S.)
 - u. Design Wind Speeds= 135 MPH (100 C.S.)
 - v. Design Wind Speeds= 135 MPH (100 C.S.)
 - w. Design Wind Speeds= 135 MPH (100 C.S.)
 - x. Design Wind Speeds= 135 MPH (100 C.S.)
 - y. Design Wind Speeds= 135 MPH (100 C.S.)
 - z. Design Wind Speeds= 135 MPH (100 C.S.)
6. Exposure Category= I=I-1, I-2, I-3, I-4, I-5, I-6, I-7, I-8, I-9, I-10, I-11, I-12, I-13, I-14, I-15, I-16, I-17, I-18, I-19, I-20, I-21, I-22, I-23, I-24, I-25, I-26, I-27, I-28, I-29, I-30, I-31, I-32, I-33, I-34, I-35, I-36, I-37, I-38, I-39, I-40, I-41, I-42, I-43, I-44, I-45, I-46, I-47, I-48, I-49, I-50, I-51, I-52, I-53, I-54, I-55, I-56, I-57, I-58, I-59, I-60, I-61, I-62, I-63, I-64, I-65, I-66, I-67, I-68, I-69, I-70, I-71, I-72, I-73, I-74, I-75, I-76, I-77, I-78, I-79, I-80, I-81, I-82, I-83, I-84, I-85, I-86, I-87, I-88, I-89, I-90, I-91, I-92, I-93, I-94, I-95, I-96, I-97, I-98, I-99, I-100, I-101, I-102, I-103, I-104, I-105, I-106, I-107, I-108, I-109, I-110, I-111, I-112, I-113, I-114, I-115, I-116, I-117, I-118, I-119, I-120, I-121, I-122, I-123, I-124, I-125, I-126, I-127, I-128, I-129, I-130, I-131, I-132, I-133, I-134, I-135, I-136, I-137, I-138, I-139, I-140, I-141, I-142, I-143, I-144, I-145, I-146, I-147, I-148, I-149, I-150, I-151, I-152, I-153, I-154, I-155, I-156, I-157, I-158, I-159, I-160, I-161, I-162, I-163, I-164, I-165, I-166, I-167, I-168, I-169, I-170, I-171, I-172, I-173, I-174, I-175, I-176, I-177, I-178, I-179, I-180, I-181, I-182, I-183, I-184, I-185, I-186, I-187, I-188, I-189, I-190, I-191, I-192, I-193, I-194, I-195, I-196, I-197, I-198, I-199, I-200, I-201, I-202, I-203, I-204, I-205, I-206, I-207, I-208, I-209, I-210, I-211, I-212, I-213, I-214, I-215, I-216, I-217, I-218, I-219, I-220, I-221, I-222, I-223, I-224, I-225, I-226, I-227, I-228, I-229, I-230, I-231, I-232, I-233, I-234, I-235, I-236, I-237, I-238, I-239, I-240, I-241, I-242, I-243, I-244, I-245, I-246, I-247, I-248, I-249, I-250, I-251, I-252, I-253, I-254, I-255, I-256, I-257, I-258, I-259, I-260, I-261, I-262, I-263, I-264, I-265, I-266, I-267, I-268, I-269, I-270, I-271, I-272, I-273, I-274, I-275, I-276, I-277, I-278, I-279, I-280, I-281, I-282, I-283, I-284, I-285, I-286, I-287, I-288, I-289, I-290, I-291, I-292, I-293, I-294, I-295, I-296, I-297, I-298, I-299, I-300, I-301, I-302, I-303, I-304, I-305, I-306, I-307, I-308, I-309, I-310, I-311, I-312, I-313, I-314, I-315, I-316, I-317, I-318, I-319, I-320, I-321, I-322, I-323, I-324, I-325, I-326, I-327, I-328, I-329, I-330, I-331, I-332, I-333, I-334, I-335, I-336, I-337, I-338, I-339, I-340, I-341, I-342, I-343, I-344, I-345, I-346, I-347, I-348, I-349, I-350, I-351, I-352, I-353, I-354, I-355, I-356, I-357, I-358, I-359, I-360, I-361, I-362, I-363, I-364, I-365, I-366, I-367, I-368, I-369, I-370, I-371, I-372, I-373, I-374, I-375, I-376, I-377, I-378, I-379, I-380, I-381, I-382, I-383, I-384, I-385, I-386, I-387, I-388, I-389, I-390, I-391, I-392, I-393, I-394, I-395, I-

This drawing is for permitting purposes only; unauthorized use is prohibited.

Selective Structures, LLC
811 East Avenue
Athens, TN 37303

DESCRIPTION
10'-6" x 36'-0" CM, 15"V @ 40'-0" O.A.H.
w/Up to Two (2) 4.725# Digital Units

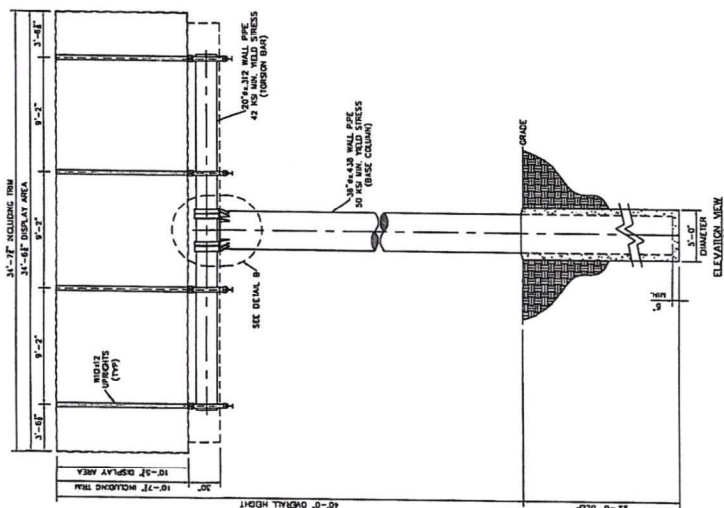
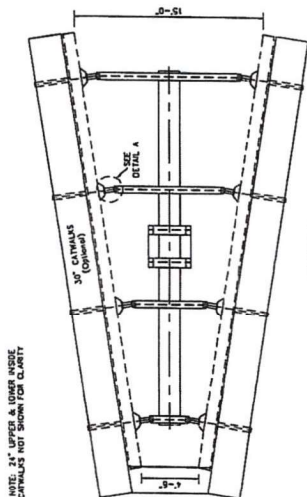
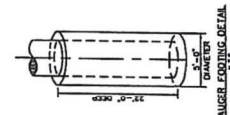
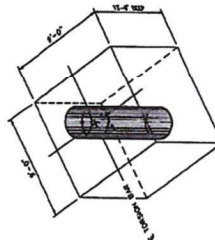
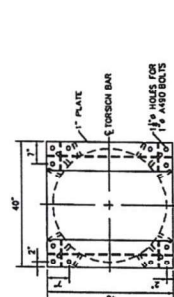
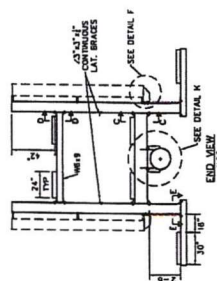


WINN ENGINEERING SERVICES, LLC
1971 FLATROCK RD.
WATKINSVILLE, GA 30677

REVISIONS:



DRAIN BY:	JNO
DATE:	12/13/22
SELECTIVE#	Permitting
SCALE:	1/4"=1'-0"
PROJ.#	111111
DWG.#	AG-008
SHEET#	1 OF 1



THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING UP TO TWO (2) DIGITAL UNITS WEIGHING APPROXIMATELY 4.725# EACH.

DIAMETER

AUGER FOOTING DETAIL



0511002500
Ogeechee Rd

Garden City

Savannah

Proposed
Location



Russell R. McMurry, P.E., Commissioner
One Georgia Center
600 West Peachtree Street, NW
Atlanta, GA 30308
(404) 631-1000 Main Office

June 26, 2023

Beacon Outdoor Advertising, LLC
PO Box 1981
Athens, GA 30606

CustomerID: 12584

Dear Sir or Madam:

Re: Multi-Message Approval

This letter is in response to your request to revise an outdoor advertising sign for a multi-message display. Enclosed, please find your approved application for revision with attached policy for:

Permit Number	Latitude	Longitude	Milepost	S.R.	County	Side of Roadway
D4786	32.0405643	-81.1977715	7.000	002500	Chatham	E

The approved revision will be valid for twelve (12) months from the effective date of June 26, 2023. This revision is subject to and made conditional upon the granting of any required local building permits or compliance with more restrictive local zoning, ordinance, or regulations, if any, at time said revisions are in fact made.

All revisions must be completed prior to one year beyond the effective date. In the event the revisions are not completed within the time allotted, the permit will revert to the original sign configuration prior to the approved revision.

Further, all revisions must be completed prior to the anniversary/expiration date of the original permit should there not be an existing sign structure at the location. The revision of the above referenced permit is not an extension of the twelve (12) month time allotted to erect a sign under the original permit.

Per state regulations, once the tag has been affixed to structure, our department must receive via email (oda@dot.ga.gov) or postal mail, recent photos, date stamped, showing tag affixed to the upper most area on or near the catwalk of the structure which would be visible from the highway. Please send electronic photographs of the outdoor advertising sign within ten (10) days of completing the sign revision.

Sincerely,

Alexis Holston, ODA Specialist

cc: Russell H. Kvistad, Regional Coordinator
Lou Ferrando, Real Estate Rep
File

APPLICATION FOR MULTIPLE MESSAGE SIGN PERMIT

MAY 22 2023 PM 12:40

GEORGIA DEPARTMENT OF TRANSPORTATION

One Georgia Center
600 West Peachtree Street N.W., 10th Floor
Atlanta, Georgia 30308

TYPE OR PRINT LEGIBLY (Please sign original in blue ink- All Sections Must Be Completed)

1001721 D4786

Date of Application

GDOT Permit Number

"Multiple Message" sign means, a sign, display, or device, which changes the message or copy of the sign electronically or mechanically by movement or rotation of panels or slats. (O.C.G.A §32-6-71)

Applicant Information

Beacon Outdoor Advertising

Corporate Name Lou Ferrando		Principal
Name of Applicant (agent) 205 Wooden Wheel Lane		Corporate Title
Address Bluffton	SC	29909
City 706-540-42112	State	Zip
Phone # Lou@beaconoutdooradv.com		
Email		

Property Owner Information

Ogeechee Intermodal, LLC

Corporate Name Eric Tucker		
Name of Landowner PO Box 876		Corporate Title
Address Savannah	GA	31402
City 912-667-2417	State	Zip
Phone # etucker@easternexcavating.com		
Email		

Sign Location Information

County: Chatham City: Garden City State Route #: 25 on the ☐ N ☐ E ☒ S ☐ W side
of the roadway and 1756' feet ☐ N ☒ E ☐ S ☐ W of milepost number 7
Latitude: 32.0405643 Longitude: -81.1977715 (i.e. decimal degrees)

Sign Description

Is this application to change the multi-message type for an already permitted multiple message sign? ☐ Yes ☒ No

Multiple Message Sign (MMS) Type: ☐ Mechanical ☒ Electronic Number of existing faces: 0

Number of faces to be Multiple Message:

Length: <u>36'</u>	Height: <u>10'6"</u>	Area: <u>382</u>	Sq. Ft.	Viewed from <input type="checkbox"/> N <input checked="" type="checkbox"/> E <input type="checkbox"/> S <input type="checkbox"/> W	Direction <input checked="" type="checkbox"/> MMS
Length: <u>36'</u>	Height: <u>10'6"</u>	Area: <u>382</u>	Sq. Ft.	Viewed from <input type="checkbox"/> N <input type="checkbox"/> E <input type="checkbox"/> S <input checked="" type="checkbox"/> W	Direction <input checked="" type="checkbox"/> MMS
Length: <u> </u>	Height: <u> </u>	Area: <u> </u>	Sq. Ft.	Viewed from <input type="checkbox"/> N <input type="checkbox"/> E <input type="checkbox"/> S <input type="checkbox"/> W	Direction <input type="checkbox"/> MMS
Length: <u> </u>	Height: <u> </u>	Area: <u> </u>	Sq. Ft.	Viewed from <input type="checkbox"/> N <input type="checkbox"/> E <input type="checkbox"/> S <input type="checkbox"/> W	Direction <input type="checkbox"/> MMS

Type of Construction (circle all that apply): ☐ Single Face ☐ Back-to-Back ☐ Double Face ☒ Type - V

Local Government Approval [FOR CITY OR COUNTY USE ONLY]

I hereby certify that the (City or County of) Garden City, allows the type of multiple message sign (mechanical or electronic), provided all zoning requirements are met at the time application for building permit is submitted.


Robert Wellmaker Building Official
Authorized Official Name (print) Title

Robert Wellmaker
Authorized Official Signature

City of Garden City, County of Chatham, Date: 5-17-23

After Hours Contact PersonName: Lou FerrandoPhone #: 706-540-4212Email: Lou@beaconoutdooradv.com
Applicant / Agent SignaturePrincipal
Corporate Title

Note: This is not a building permit. Nothing in this permit shall be construed to abrogate or affect any lawful ordinance, regulation or resolution which is more restrictive than State Law as it pertains to the structure permitted. (O.C.G.A §32-6-97) In the event this multiple message application is approved, all work must be completed within twelve (12) months from the date of approval, and the underlying outdoor advertising permit must also be kept in good standing during the entire twelve (12) month period.

Department Approval for Multiple Message Sign [FOR GDOT USE ONLY]Effective Date: 6/26/2023Permit #: D4786
Outdoor Advertising Control Manager
State Maintenance Engineer

Required Attachments: The following attachments (if applicable) are required for a complete application.

- A Copy of your W-9 Form.
- A detailed Shop Drawing of the sign indicating the plan, elevation, and side views of the sign.
- For corporate entities or Trusts who are the Applicant and/or Landowner: A signed statement from a corporate officer or executor, on company letterhead, authorizing the Agent(s) to sign this application on their behalf.
- A photograph of the existing sign or proposed sign site showing the location markings. A photograph showing the permit identification tag and where it is affixed to the structure.
- The correct permit fee. (fee amounts are available on the Outdoor Advertising webpage)

Sign Installation Notification

The permit holder shall provide notice of completion to the Department within ten (10) days of completion of construction of Multiple Message revision to the sign. The notice shall include an electronic photograph of the sign as viewed from the main travelled way of the roadway from which the sign is permitted.

Submission of Application:

Submit the application and all required attachments to the Georgia Department of Transportation, One Georgia Center, 600 West Peachtree Street N.W., 10th Floor, Atlanta, Georgia 30308, Attn: Outdoor Advertising Office



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	LED Billboard
Property Address:	5195 Ogeechee Rd
Property Owner:	Ogeechee Intermodal
Proposed use of Building:	Advertising
Materials to be used:	Steel
Height of Sign:	50'
Square Footage of Proposed Sign:	382 sq ft per side
Pin Listing:	60990D01005
Zoning Classification:	I4

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando
Name (Print)

PO Box 1981 Athens GA 30603
Address

Beacon Outdoor Advertising
Company Name

706-540-4212
Phone Number


Signature

OFFICE USE ONLY

Plan Submitted: _____

Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

Building Inspector / Code Enforcement Officer

All design, detailing, fabricating and construction shall conform to the following codes and specifications:

- All designs, detailing, fabricating and construction shall conform to the following codes and specifications:
- a. The International Building Code (2018 Edition)
 - b. American Institute of Steel Construction (AISC) specifications
 - c. American Society of Testing and Materials (ASTM) specifications
 - d. Building Code Requirements for Reinforced Concrete (ACI 318-19)
 - e. Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edn).
 - f. Specification for Design, Fabrication and Erection of Structural Steel by Manufacturers (AISC) (Current Edition)
- Concrete shall be f_c=2500 P.S.I. @ 28 days
Compressive Strength, Noncorrosive Rebar (150 P.C.F.)
Reinforcing Steel (Longitudinal) shall ASTM A-615 Grade 60.
All reinforcing steel shall be free from mud, oil, rust or other deleterious material.
- a. All reinforcement bars shall be 30 diameters minimum, except as noted.
 - b. At reinforcement bars shall be 30 diameters minimum, except as noted.
 - c. Minimum concrete cover to all stirrups and main bars shall be 1 1/2 inch for slab, wall and tie rods not exposed to weather or in contact with earth. Minimum concrete cover specified against the ground surface as noted.
- Structural Material Specifications**
- a. Structural Steel Plate Specifications shall be A-36
 - b. W-Shapes Standard Specifications shall be (F-y=50 ksi) Minimum
 - c. W-Shapes bearing shall be (F-y=50 ksi) Minimum
 - d. Structural tubing shall be ASTM A-500, Grades (F=48 ksi)
 - e. Structural piping shall be per ASME B31.3
 - f. Carbon Steels shall be per ASTM A372, Grade 42 (F=42 ksi) or ASTM A372, Grade 50 (F=50 ksi), unless otherwise noted.
- (See drawing for indicated member specifications.)
- Anchor Bolts (Longitudinal) shall be A307 F-55K Dkt. X, unless otherwise noted.**
- Hip strength limit for connections shall be ASTM A - 325, unless otherwise noted.
- Welding electrodes shall comply with AWS D1.1 (Current Edition). [7Flux, E70xx]
- Design Wind Speed = 135 mph (U.R.C)
Exposure Category = II
Basic Wind Suction = 50.0 psf above the ground, (3 Src Wind Gusts) = 50.0 psf
 $C_{pe} = 0.8$, $C_{pi} = 1.0$, $G = 1.0$, $S = 1.0$
- Soil Bearing Capacity Requirements:**
- a. Spread Footings shall be --- P.S.F.
 - b. Caisson & Auger Footings Minimum Lateral Soil Bearing Capacity shall be (150 PSF - 21,500 PSF) per foot of depth. [80] means per 12" width
 - c. Minimum Allowable Settlement shall be 1/4" per foot of depth.
- Collector and verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies.
- Splicing all pipes being in equal diameter and yield is permitted. A lap protection weld at around four (05) D's shall be used and must be done by a certified welder. Splice welds shall be with one side of the pipe facing the collector and the other side of the pipe facing the down leashing pipes. Unless noted otherwise.
- The division shall, as required, provide a certificate of supporting up to two (2) inches thick adding up to maximum weight of 1,750 lbs.

This drawing is for permitting purposes only, unauthorized use is prohibited.

111 East Avenue
Memphis, TN 37303

10'-6" x 36'-0" CM, 15'V @ 40'-0" O.A.H.
w/Up to Two (2) 4,725# Digital Units

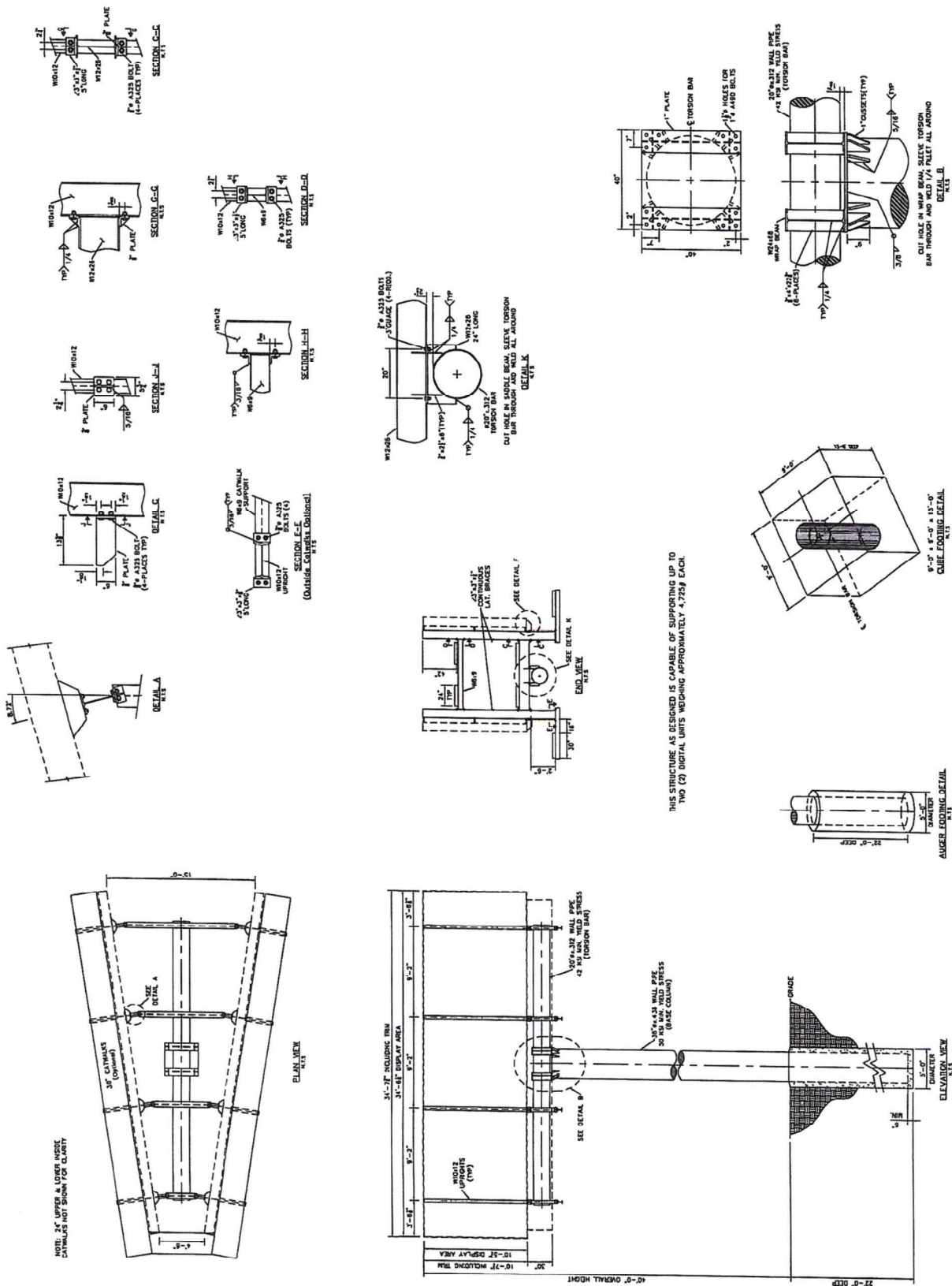


GINN
ENGINEERING
SERVICES

ENGINEERING SERVICES, LLC
1971 FLATROCK RD.
WATKINSVILLE, GA 30677

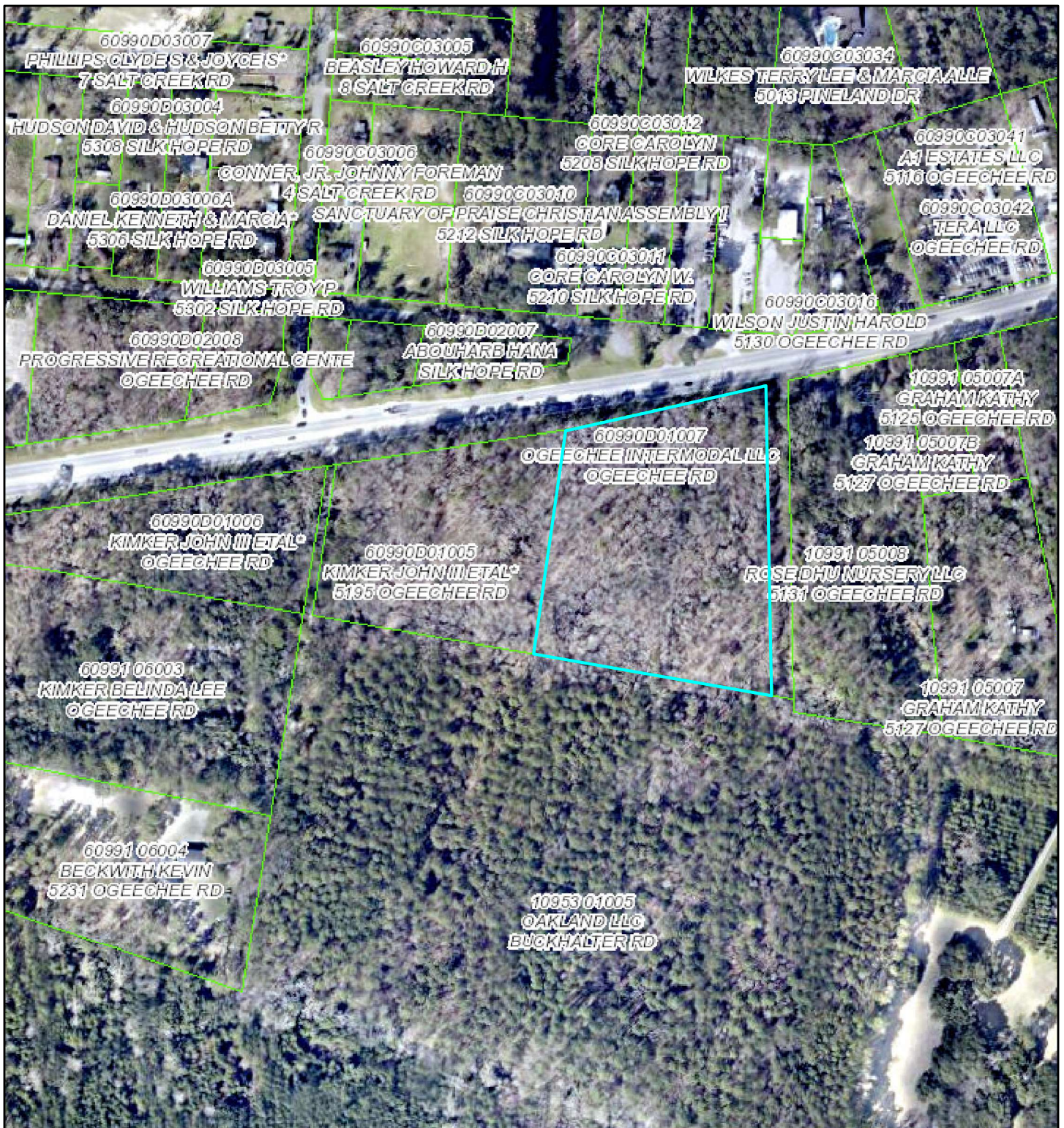
References:

RI -	ELEMENTS	
DATE:	12/13/22	JNG
SELECTIVE#	Permitting	
SCALE:	1/4"=1'-0"	
PROJ.#	111111	
DWG.#	AC-008	
SHEET#	1 OF 1	





SAGIS Map Viewer



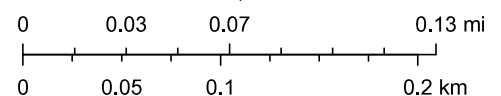
8/2/2023, 3:56:10 PM

Owner, PIN and Address Labels



Property Boundaries (Parcels)

1:4,514



SAGIS

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SAGIS |