

AGENDA

Board of Zoning Appeals / Planning Commission Meeting
Tuesday, May 9, 2023 - 6:00pm

Pre-agenda @ 5:30pm

✧ **Call to Order**

✧ **Roll Call**

✧ **Approval of Agenda – May 9, 2023**

✧ **Approval of Board of Zoning Appeals/Planning Commission Minutes**

- April 11, 2023

✧ **Zoning Appeals**

- PC2321: Naser Jaber; Global Investment Traders, LLC requests a variance of Sec. 90-72 for proposed development of a four-unit quadplex at 4021 6th Street; PIN 60019 10016.

✧ **Adjournment**

✧ **Planning Commission**

- PC2304: Joshua Yellin; Hunter Maclean requests a general development plan review for proposed development as a service station for electric fleet vehicles to be located at 2202 US Highway 80; PIN 60080 01012, 2207 US Highway 80; PIN 60880 01013, 2301 US Highway 80; PIN 60881 04001, 2303 US Highway 80; PIN 60881 04002, 2305 US Highway 80; PIN 60081 04003 and US Highway 80; PIN 60881 04004
- PC2319: Steve Carbone; Industrial Electro Mechanics requests a general development review for construction of a mechanical shop with associated parking and utilities of property formerly known as 1622 Dean Forest Road; PIN 60988A 02007 and now known as 1630 Dean Forest Road PIN 60988A 02034 Lot 7 A, a recombination of a portion of Lot 6 and a portion of Lot 7, on plat entitled "A Recombination Plat of the Northwest Portion of Tract 3" dated October 12, 2022, recorded October 26, 2022 in Plat Book 53, page 545, Chatham County, Georgia records. *ADDEMDUM (Address Authorization of Plat Recombination has been assigned as 1622 Dean Forest Road)
- PC2320: Tom Havens; Coastal Civil Engineering requests a general development plan review of for addition of a 5,661 sq. ft. metal building and associated access improvements to 1620 Dean Forest Road; PIN 60988A 02009.

✧ **Adjournment**

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S CONSOLIDATED BOARD OF ZONING APPEALS/PLANNING
COMMISSION AND STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWERS OF THE
BOARD OF ZONING APPEALS AND THE PLANNING COMMISSION**

I. Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission on matters referred to it shall be called to order by the presiding officer.
- (2) The presiding officer shall open the hearing by stating the specific zoning matter being considered at the public hearing, and shall explain the procedures to be followed in the conduct of the hearing and further stating that printed copies of the adopted standards governing the exercise of the zoning powers of the Board of Zoning Appeals and Planning Commission, and the procedures governing hearings before the Board are available to the public.
- (3) The presiding officer shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (4) When there is a large number of individuals wishing to testify at a hearing, the presiding officer may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The presiding officer may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (5) The petitioner requesting the proposed decision, or the petitioner's agent, shall be recognized first and shall be permitted to present and explain the request for the decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the matter.
- (6) After all individuals have had an opportunity to speak in accordance with subparagraph (5) above, those individuals present at the public hearing who wish to speak in opposition to the proposed decision shall have an opportunity to speak.
- (7) Once all parties have concluded their testimony, the presiding officer shall adjourn the public hearing.

II. Standards Governing the Exercise of The Zoning Powers of Garden City's Board of Zoning Appeals:

The Board of Zoning Appeals shall have the following powers:

- (1) To hear and decide appeals where it is alleging that there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 90 of the Garden City Code of Ordinances.
- (2) To decide upon requests for permission to establish uses which the Board of Zoning Appeals is required to pass under the terms of Chapter 90 of the Garden City Code of Ordinances. The application to establish such use shall be approved on a finding of the Board of Zoning Appeals that:
 - (a) The proposed use does not affect adversely the general plans for the physical development of the city, as embodied in Chapter 90 of the Garden City Code of Ordinances and in any master plan or portion thereof adopted by the Mayor and Council.
 - (b) The proposed use will not be contrary to the purposes stated for Chapter 90 of the Garden City Code of Ordinances.
 - (c) The proposed use will not affect adversely the health and safety of residents and workers in the city.
 - (d) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.
 - (e) The proposed use will not adversely affect the existing uses in the neighborhood.
 - (f) The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of such use.
 - (g) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.

- (h) The standards set forth for each particular use for which a permit may be granted have been met.

The Board of Zoning Appeals may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community and to protect the value and use of the property in the general neighborhood. The proposed use shall be subject to the minimum area, setback, and other locational requirements of the zoning district in which it will be located. The proposed use shall be subject to the off-street parking and service requirements of Chapter 90 of the Garden City Code of Ordinances. Wherever the Board of Zoning Appeals shall find, in the case of any permit granted pursuant to the provisions of said Chapter 90, that any of the terms, conditions or restrictions upon which such permit was granted are not being complied with, the Board shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.

- (3) To authorize upon appeal in specific cases such variance from the terms of Chapter 90 of the Garden City Code of Ordinances as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of said Chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the Board of Appeals that:
- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
 - (b) The application of said Chapter 90 to this particular piece of property would create practical difficulty or unnecessary hardship;
 - (c) Such conditions are peculiar to the particular piece of property involved; and,
 - (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of said Chapter 90.

No variance shall be granted for a use of land or building or structure that is prohibited by Chapter 90 of the Garden City Code of Ordinances.

III. Powers and Duties of the Planning Commission.

The Planning Commission is granted all powers and is assigned all duties that the City's Mayor and Council is authorized and empowered to grant and assign, to include the following:

- (1) Making comprehensive surveys and studies of existing conditions and probable future developments and preparing such plans for physical, social, and economic growth as will best promote the public health, safety, morals, convenience, prosperity, or general welfare, as well as efficiency and economy in the development of the city.
- (2) Preparing a master plan or parts thereof for the development of the city.
- (3) Preparing and recommending for adoption to the city council a zoning ordinance or resolution and map for the city.
- (4) Preparing and recommending for adoption to the city council regulations for the subdivision of land within the city, and administering the regulations that may be adopted.
- (5) Preparing and recommending for adoption to the city council a plat or an official map showing the exact location of the boundary lines of existing, proposed, extended, widened, or narrowed streets, public open spaces, or public building sites, together with regulations to control the erection of buildings or other structures within such lines, within the city or a specified portion thereof.
- (6) Making, publishing, and distributing maps, plans, and reports and recommendations relating to the master plan and development of the city to public officials and agencies, public utility companies and civic, educational, professional, and other organizations and citizens.
- (7) Recommending to the executive or legislative officials of the city programs for public improvements and the financing thereof.
- (8) Reviewing all proposed amendments to the zoning ordinance, the subdivision ordinance, and the zoning map, and making recommendation as per Garden City Code Section 90-201 in each case to the city council for approval or denial.
- (9) Approving site and development plans as per Garden City Code Sections 90-43, 90-47, 90-48 and 90-49.
- (10) Approving certain uses in the mixed-use zoning districts as per Garden City Code Section 90-49.

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S MAYOR AND COUNCIL
AND STANDARDS GOVERNING THE EXERCISE OF CITY COUNCIL'S ZONING POWER**

Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Board of Zoning Appeals for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings by the Mayor and Council on zoning amendments shall be chaired by the Mayor.
- (2) The Mayor shall open the hearing by stating the specific zoning amendment being considered at the public hearing and further stating that printed copies of the adopted standards governing the exercise of the Mayor and Council's zoning power and the procedures governing the hearing are available to the public.
- (3) The Director of the City's Planning and Zoning Department shall advise the Mayor and Council of the recommendation of the Planning Commission when applicable.
- (4) The Mayor shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (5) When there is a large number of individuals wishing to testify at a hearing, the Mayor may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The Mayor may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (6) The petitioner requesting such zoning decision, or the applicant's agent, shall be recognized first and shall be permitted to present and explain the request for the zoning decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the zoning decision.
- (7) After all individuals have had an opportunity to speak in accordance with subparagraph (6) above, those individuals present at the public hearing who wish to speak in opposition to the requested zoning decision shall have an opportunity to speak.
- (8) The Mayor may limit repetitious comments in the interest of time and may call for a show of hands of those persons present in favor of or opposed to the proposed decision.
- (9) It shall be the duty of the Mayor to maintain decorum and to assure the public hearing on the proposed decision is conducted in a fair and orderly manner.
- (10) Once all parties have concluded their testimony, the Mayor shall adjourn the public hearing.

Standards Governing the Exercise of The Zoning Powers of Garden City's Mayor and Council:

Prior to making a zoning amendment, the Mayor and Council shall evaluate the merits of a proposed amendment according to the following criteria:

- (1) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (2) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (3) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
- (4) Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?
- (5) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- (6) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?

Board of Zoning Appeals/Planning Commission
April 11, 2023 - 6:00PM

Opening: Chair Billy Jackson welcomed everyone and called the meeting to order.

Roll Call: Billy Jackson; Chair, Jenecia Perry; Vice-Chair, Jeff Ashley; Parliamentarian, Michael Bruner, Misty Selph, Gary Monroe, and Charles Orrel.

Staff: Denise Grabowski (Planning Manager -Consultant-), Jonathan Trego (Planning and Zoning Supervisor), and Tonya Roper (Permitting and Inspections Coordinator).

Visitors: Enclosed

Chair Jackson calls for a motion to approve the agenda. Commissioner Perry made a motion, Commissioner Selph seconded, vote passes with no opposition.

Commissioner Orrel made a motion to approve the minutes. Commissioner Cox seconded, vote passes with no opposition.

Board of Zoning Appeals

PC2318: Michael Shropshire, property owner requests a variance of Sec.90-14 to build 2376 sq. ft. garage/carport at 216 Salt Creek Road; PIN 60960 01016.

Chair Jackson gave a reading of the item. Planning Consultant Denise Grabowski gave an overview of the proposal. The City had no recommendation.

Applicant Michael Shropshire came forward and gave a quick summary of his plans.

Vice-Chair Perry asked about the use of the structure.

The applicant said it would be used for parking of cars, toys, and storage.

Commissioner Monroe confirmed the property lines with the applicant.

Denise Grabowski clarified the setback requirements.

Commissioner Monroe asked if there would be plumbing.

The applicant said no, not at this time.

Chair Jackson calls for a motion. Commissioner Selph makes a motion to approve, Commissioner Cox seconded. Vote passes without opposition.

Vice-chair Perry made a motion to adjourn the ZBA meeting, Commissioner Cox seconded, vote passes with no opposition.

Planning Commission

Chair Jackson called the Planning Commission meeting to order for nominations/elections.

For the position of Chair, Billy Jackson was nominated by Commissioner Cox. Gary Monroe was nominated by Commissioner Perry. Billy Jackson received 6 votes and Gary Monroe received 2 votes. Billy Jackson was elected Chair.

For the position of Vice-Chair, Commissioner Jackson nominates Jenecia Perry. Commissioner Selph nominates Michael Bruner. Jenecia Perry received 5 votes, Michael Bruner received 3 votes. Jenecia Perry was elected Vice-Char.

For the position of Parliamentarian, Vice-Chair Perry nominates Jeff Ashley. Commissioner Ashley nominates Michael Bruner. Jess Ashley receives 3 votes. Michael Bruner receives 5 votes. Michael Bruner was elected Parliamentarian.

Commissioner Selph made a motion to adjourn, Commissioner Cox seconded. Motion passes with no opposition.

Respectfully submitted
JRT

City of Garden City Variance Application



Development Information

Development Name (If applicable)	
Property Address	
Current Zoning	Current Use
Parcel ID	Total Site Acreage
Section of the zoning code from which you are seeking a variance:	
Describe the variance request you are requesting.	
Would denial of this request create practical difficulty or an unnecessary hardship?	
Does the property have extraordinary and exceptional conditions because of its size, shape or topography?	
Are the conditions of the property unique to this piece of property?	
Would approval of this variance request cause any detriment to adjoining properties or the community?	
Please provide any additional information that you deem relevant.	

City of Garden City Variance Application



Applicant Information

Owner	
Name	Address
Phone	Email
Nature of Ownership Interest	
Is the Owner an: <input type="checkbox"/> Individual <input type="checkbox"/> Partnership <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Firm <input type="checkbox"/> Corporation <input type="checkbox"/> Association	
Note: If a corporation, submit a list of officers, directors & major stockholders with name, address and title.	
If a partnership: Submit list of all partners with name, address and title.	
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Campaign Contribution	
List below the names of local government officials, Garden City City Council, to whom campaign contributions were made, within two (2) years immediately preceding the filing of this application, which campaign contributions total \$250.00 or more or to whom gifts were made having a total value of \$250.00 or more.	
Elected Official's Name	Amount or Description of Gift

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Board of Zoning Appeals and that my application cannot be approved unless I am represented.

 Print Name

 Signature *Naser Jaber*

 Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Consultant
Date: May 4, 2022
Re: PC 2312 – 2782 US Highway 80 West, Garden City

Application Type	Variance
Case Number	PC 2312
Applicant	Naser Jaber
Name of Project	4021 6 th Street
Property Address	4021 6 th Street
Parcel ID	60019 10016
Area of Property	.28 acres
Existing Zoning	Residential, R-2
Existing Land Use	Undeveloped
Proposed Land Use	Residential Quadplex

GENERAL INFORMATION

Project Description: The applicant is requesting a variance from Section 90-72, Dwellings (development standards) to construct a quadplex on the property. The lot is 80 feet wide. The minimum lot width for a multi-family building in R-2 is 120 feet. Therefore, the applicant is requesting a variance from the lot width requirements.

Background / Additional Context: Staff met with the applicant after receiving the initial application, which was for three units. The design of the units as initially proposed was not in keeping with the character of the existing neighborhood. The applicant revised the proposal and incorporated staff feedback regarding the architectural design of the proposed structure.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-213(3), the Board of Appeals may authorize upon appeal in specific cases such variance from the terms of the zoning ordinance as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of this chapter will, in an individual case, result in practical difficulty

or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the board of appeals that:

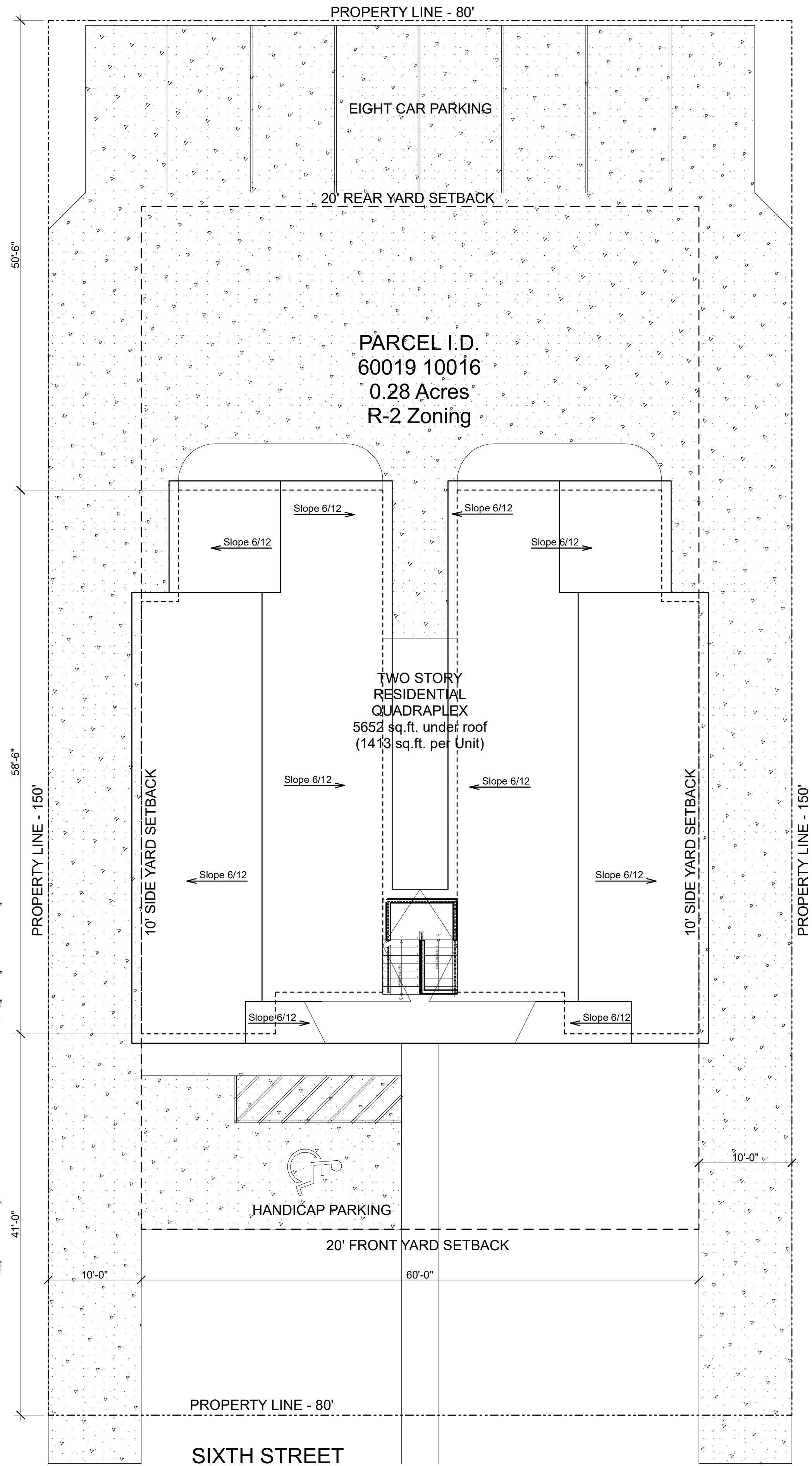
1. *There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography;*
The property in question does not have any extraordinary conditions due to its size, shape, or topography.
2. *The application of this chapter to this particular piece of property would create practical difficulty or unnecessary hardship;*
This lot could be developed with a single-family dwelling.
3. *Conditions are peculiar to the particular piece of property involved; and*
This neighborhood was historically developed with 40-foot-wide lots so development of a two-family structure on an 80-foot-wide lot would be in keeping with the overall density of the neighborhood. Staff would support the proposed structure and variance request if the structure were modified from a quadplex to a two-family dwelling. A two-family dwelling would also require a variance request, as a 100-foot lot width is required.
4. *Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of this chapter.*
Relieve, if granted, would allow for construction of a structure that is not in keeping with the character of the area.

RECOMMENDATION

Denial of the variance request.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.



SITE PLAN with ROOF PLAN
SCALE: 1/8" = 1'-0"

Dean Architecture and Design, LLC

5710 Ogeechee Road #200-305 Savannah, Georgia 31405

Ph: 818-667-2369

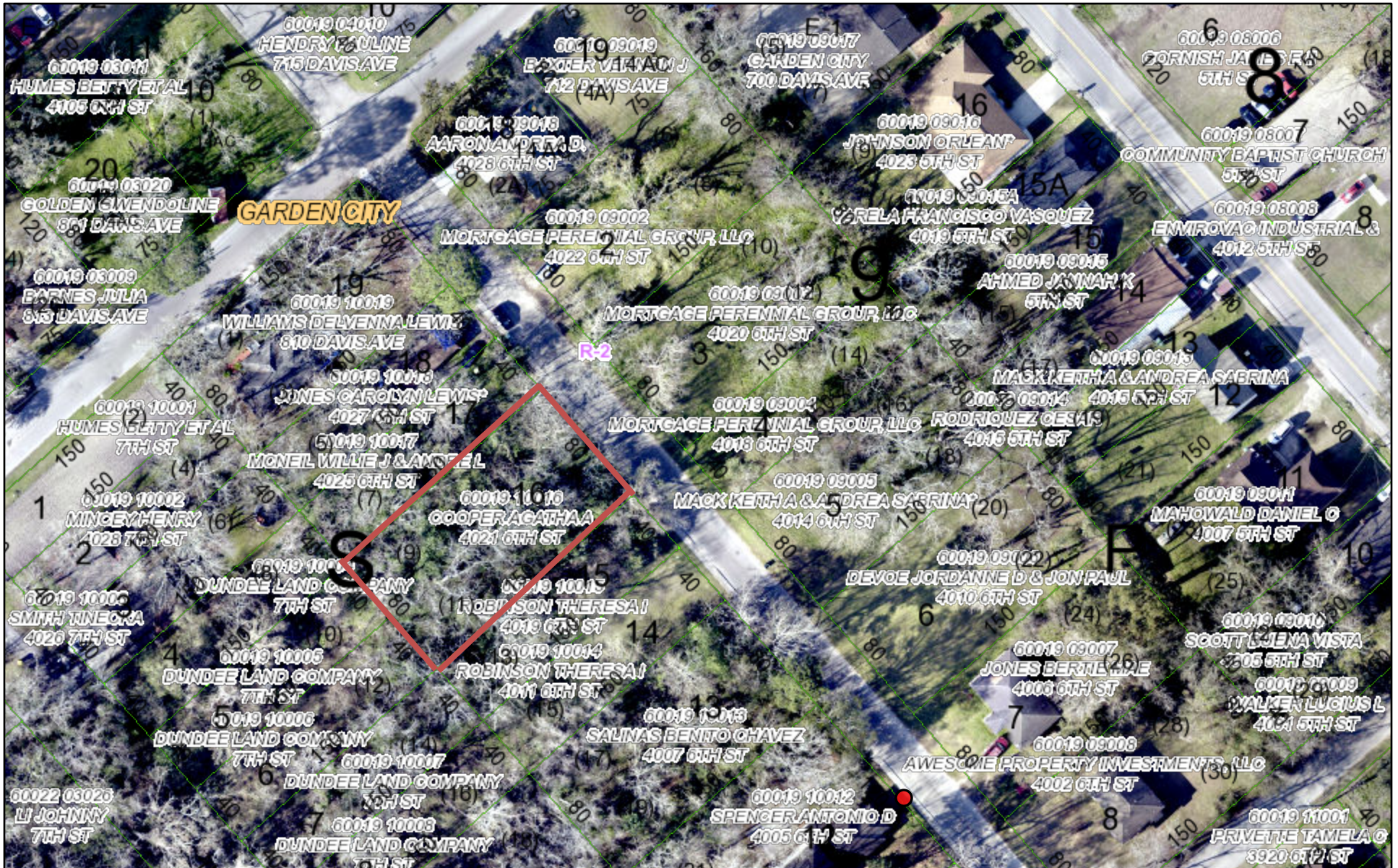
Flats on 6th (Quadrplex)
4021 Sixth Street
Garden City, Georgia

DATE: 4/14/23

SCALE: CONCEPT

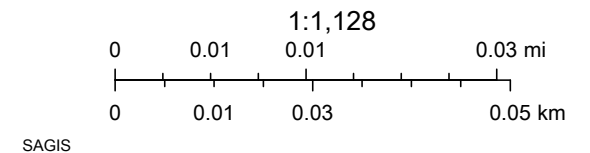
SHEET NUMBER: A1

PC2321: Variance



5/3/2023, 11:35:10 AM

Municipal Boundary POOLER THUNDERBOLT UNINCORPORATED
 BLOOMINGDALE PORT WENTWORTH TYBEE ISLAND Zoning
 GARDEN CITY SAVANNAH VERNONBURG Owner, PIN and Address Labels



City of Garden Site Plan Application



Development Information

Development Name

Voltera - EV Fleet Charging Hub

Property Address

2205, 2207, 2301, 2303, and 2305 West US Highway 80

Phased development? If yes, indicate proposed number of phases:

☐ Yes ☒ No

Parcel ID	Total Site Acreage	Zoning
60880-01012 & 01013 60881-04001 to 04004	7.91	C-2

Project Description

Service station for electric fleet vehicles

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private

Applicant Information

Owner

Name	Address
B.G. Bazemore Holdings, LLC	1212 Pipemakers Circle, Suite 207, Pooler, GA 31322
Phone	Email

Engineer/Surveyor ☐ Same as authorized agent ☐ Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
Kimley-Horn	Mike Lopez
Phone	Email
912-328-4442	mike.lopez@kimley-horn.com

Authorized Agent (Requires Authorized Agent Form) ☐ Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
HunterMaclean	Josh Yellin
Phone	Email
912-236-0261	jyellin@huntermaclean.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Joshua Yellin

Print Name

Signature

12/09/2022

Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: May 2, 2023
Re: PC 2304 – 2202-2205 US Highway 80

Application Type	General Development Plan
Case Number	PC 2304
Applicant	Joshua Yellin
Name of Project	Voltera EV Fleet Charging Hub
Property Address	2202-2305 US Highway 80
Parcel IDs	60080 01012, 60880 01013, 60881 04001, 60881 04002, 60081 04003, PIN 60881 04004
Area of Property	7.91 acres
Current Zoning	C-2, Commercial
Proposed Land Use	Service station for electric fleet vehicles

GENERAL INFORMATION

Project Description: The applicant is proposing to develop a state-of-the-art electric vehicle (EV) charging facility with 127 truck charging stalls and 127 vehicle parking stalls, 4,800 square-foot operations building, and 4,500 square-foot maintenance building.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*

This facility is the first of its kind in the area and will provide charging facilities for electric vehicles and trucks. The project is proposed for development in two phases. The first phase will include both buildings, passenger vehicle parking, and 37 truck charging stations. The second phase will add an additional 90 truck charging stations. Phase I is anticipated by the end of 2024; the timing for Phase II is to be determined.

2. *Facade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
The operations building will be located adjacent to US Highway 80 and features metal and spandrel panels with storefront glazing (windows). A smaller maintenance facility is located adjacent to the western property line and will be constructed of masonry.
3. *Fences, landscaping, and buffers.*
The perimeter of the site will be surrounded by 8' wrought iron fencing. A black chain-link fence will be located around the truck charging stations. The required landscape buffer along US Highway 80, as well as tree islands in the parking lot, will be provided. A 25' landscape buffer is also required along the southern property line. The plans include a note that states the site, buffer, and parking lot landscaping will be designed in compliance with the City of Garden City Zoning Ordinance.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
Site access is provided via US Highway 80, with the addition of a right-hand deceleration lane on US Highway 80. The site is designed to separate passenger vehicles from trucks immediately after entering the site.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
A monument sign will be provided adjacent to US Highway 80. Signage shall comply with the City of Garden City ordinances and will require a sign permit.

The applicant has provided the required information.

RECOMMENDATION

Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

SITE PLAN APPLICATION PLANS

FOR



VOLTERA EV FLEET CHARGING FACILITY

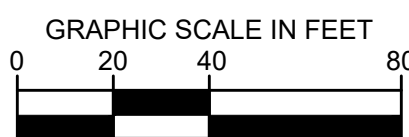
2303 US HIGHWAY 80

GARDEN CITY, GA 31408

CITY OF GARDEN CITY

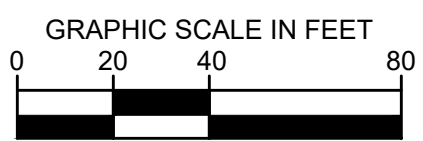
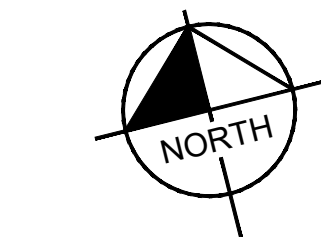
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6-0880-01-013, 6-0881-04-001, 6-0881-04-002,
6-0881-04-003, 6-0881-04-004

<p>APPLICANT: VOLTERA POWER, LLC CONTACT: PETER THOMAS PHONE: (513) 221-9761 EMAIL: PTHOMAS@VOLTERAPOWER.COM</p> <p>PROPERTY OWNER: SAVANNAH EV HOLDINGS, LLC CONTACT: PETER THOMAS PHONE: (513) 221-9761 EMAIL: PTHOMAS@VOLTERAPOWER.COM</p> <p>PROGRAM MANAGER: KIMLEY-HORN & ASSOCIATES, INC. CONTACT: DEAN APOSTOLERIS PHONE: (914) 368-9199 EMAIL: DEAN.APOSTOLERIS@KIMLEY-HORN.COM</p>			<p>ARCHITECT: MG2 CONTACT: EMILY O'LOUGHLIN PHONE: (703) 564-8484 EMAIL: EMILY.OLOUGHLIN@MG2.COM</p> <p>CIVIL ENGINEER: KIMLEY-HORN & ASSOCIATES, INC. CONTACT: BRIAN CLOUSER, P.E. PHONE: (912) 328-4448 EMAIL: BRIAN.CLOUSER@KIMLEY-HORN.COM</p> <p>ELECTRICAL ENGINEER: KIMLEY-HORN & ASSOCIATES, INC. CONTACT: JEFFREY SALLEE, P.E. PHONE: (757) 213-8635 EMAIL: JEFFREY.SALLEE@KIMLEY-HORN.COM</p> <p>MECHANICAL ENGINEER: KIMLEY-HORN & ASSOCIATES, INC. CONTACT: MICHAEL STREICH PHONE: (331) 888-3178 EMAIL: MIKE.STREICH@KIMLEY-HORN.COM</p>			<p>SURVEYOR: JAMES M. ANDERSON & ASSOCIATES, INC. CONTACT: MATT ANDERSON, PLS PHONE: (912) 764-2002 EMAIL: MATT@ANDERSONLANDSURVEYORS.COM</p> <p>GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC. CONTACT: GUOMING LIN, P.E. PHONE: (912) 200-9114 EMAIL: GUOMING.LIN@TERRACON.COM</p> <p>ENVIRONMENTAL: TERRACON CONSULTANTS, INC. CONTACT: KERRI DOYLE PHONE: (912) 200-9109 EMAIL: KERRI.DOYLE@TERRACON.COM</p>			<p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/ DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.</p> <p>THE APPLICANT IS PROPOSING TO DEVELOP A STATE-OF-THE ART, ELECTRIC VEHICLE (EV) CHARGING FACILITY FOR FREIGHT VEHICLE FLEET OPERATION AND CHARGING. A TOTAL OF 127 CHARGING STALLS ARE PROVIDED FOR CLASS 8 TRUCKS WITH A 1:1 RATIO OF PASSENGER VEHICLE PARKING STALLS. A PROPOSED 4,800 SQUARE-FOOT OPERATIONS BUILDING WILL SERVE THE FACILITY WITH INTERIOR OFFICE SPACE, IN ADDITION TO A 4,500 SQUARE-FOOT MAINTENANCE BUILDING WITH 3 TRUCK BAYS.</p>			<table><tr><th>SHEET NUMBER</th><th>SHEET TITLE</th></tr><tr><td>C-0.0</td><td>COVER SHEET</td></tr><tr><td>C-2.0</td><td>EXISTING CONDITIONS</td></tr><tr><td>C-3.0</td><td>CIVIL LAYOUT PLAN - PHASE 1</td></tr><tr><td>C-3.1</td><td>CIVIL LAYOUT PLAN - PHASE 2</td></tr><tr><td>ES-1.0</td><td>SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 1</td></tr><tr><td>ES-1.1</td><td>SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 2</td></tr><tr><td>A-1.0</td><td>PLAN & ELEVATIONS - OPERATIONS BUILDING</td></tr><tr><td>A-1.1</td><td>PLAN & ELEVATIONS - MAINTENANCE BUILDING</td></tr><tr><td>M-1.0</td><td>OPERATIONS BUILDING MECHANICAL PLAN - LEVEL 1</td></tr><tr><td>M-1.1</td><td>OPERATIONS BUILDING MECHANICAL PLAN - ROOF</td></tr><tr><td>M-1.2</td><td>MAINTENANCE BUILDING MECHANICAL PLAN - LEVEL 1</td></tr><tr><td>M-1.3</td><td>MAINTENANCE BUILDING MECHANICAL PLAN - ROOF</td></tr><tr><td>E-1.0</td><td>ELECTRICAL POWER PLAN - OPERATIONS BUILDING</td></tr><tr><td>E-1.1</td><td>ELECTRICAL POWER PLAN - MAINTENANCE BUILDING</td></tr><tr><td>E-2.0</td><td>ELECTRICAL ONE-LINE DIAGRAM - PHASE 1</td></tr><tr><td>E-2.1</td><td>ELECTRICAL ONE-LINE DIAGRAM - PHASE 2</td></tr><tr><td>E-2.2</td><td>ELECTRICAL ONE-LINE DIAGRAM - PHASE 2</td></tr></table>		SHEET NUMBER	SHEET TITLE	C-0.0	COVER SHEET	C-2.0	EXISTING CONDITIONS	C-3.0	CIVIL LAYOUT PLAN - PHASE 1	C-3.1	CIVIL LAYOUT PLAN - PHASE 2	ES-1.0	SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 1	ES-1.1	SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 2	A-1.0	PLAN & ELEVATIONS - OPERATIONS BUILDING	A-1.1	PLAN & ELEVATIONS - MAINTENANCE BUILDING	M-1.0	OPERATIONS BUILDING MECHANICAL PLAN - LEVEL 1	M-1.1	OPERATIONS BUILDING MECHANICAL PLAN - ROOF	M-1.2	MAINTENANCE BUILDING MECHANICAL PLAN - LEVEL 1	M-1.3	MAINTENANCE BUILDING MECHANICAL PLAN - ROOF	E-1.0	ELECTRICAL POWER PLAN - OPERATIONS BUILDING	E-1.1	ELECTRICAL POWER PLAN - MAINTENANCE BUILDING	E-2.0	ELECTRICAL ONE-LINE DIAGRAM - PHASE 1	E-2.1	ELECTRICAL ONE-LINE DIAGRAM - PHASE 2	E-2.2	ELECTRICAL ONE-LINE DIAGRAM - PHASE 2
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E-2.1	ELECTRICAL ONE-LINE DIAGRAM - PHASE 2																																																
E-2.2	ELECTRICAL ONE-LINE DIAGRAM - PHASE 2																																																
<p>PROJECT TEAM</p> <p>SCALE N.T.S.</p>			<p>CODE BLOCK</p>		<p>PROJECT NARRATIVE</p> <p>SCALE 1" = 150'</p>																																												
<p>LOCATION MAP</p>			<p>VICINITY MAP</p>																																														
<p>COVER SHEET</p>			<p>VOLTERA EV FLEET CHARGING FACILITY 2303 US HIGHWAY 80 GARDEN CITY, GA 31408 CITY OF GARDEN CITY</p>																																														
<p>DIG ALERT CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.</p>			<p>CALL BEFORE YOU DIG</p>																																														



PHASE 1 PARKING NOTES	
1.	PHASE 1 PARKING IS PROVIDED AS FOLLOWS:
1.1.	STANDARD (8.5' X 20') = 122 STALLS
1.2.	ADA ACCESSIBLE (8.5' x 20') = 5 STALLS
1.3.	TRUCK CHARGING (13' x 28') = 37 STALLS

SHEET NUMBER
C-3.0



CIVIL LAYOUT NOTES	
1.	SITE, BUFFER, AND PARKING LOT LANDSCAPING TO BE DESIGNED IN COMPLIANCE WITH THE CITY OF GARDEN CITY ZONING ORDINANCE.
2.	PARKING LOT ISLANDS TO BE 6" IN WIDTH AS MEASURED FROM BACK OF CURB TO BACK OF CURB.
3.	ALL TRANSFORMERS, SWITCHBOARDS, AND DOUBLE-ENDED SWITCHGEAR TO BE INSTALLED WITH CONCRETE PADDS. SEE SHEETS ES-1.0 AND ES-1.1 FOR SITE EQUIPMENT.
4.	GA POWER PRIMARY METERS TO BE INSTALLED PER GA POWER SPECIFICATION, FINAL LOCATION AND SIZE OF UTILITY ACCESS GATE TO BE COORDINATED WITH GA POWER. ELEMWATER DETENTION BASINS TO BE DESIGNED FOR SEPTIC TREATMENT PURPOSES, ONLY. BASIN TO BE SIZED IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENTS. SUBJECT PROPERTY IS NOT LOCATED WITHIN FLOOD HAZARD ZONE PER FEMA FIRM 17-023-001.
5.	NON-ADJACENT WETLANDS ARE PRESENT WITHIN THE PROJECT AREA. REFERENCE SAS-2000-01310 FOR APPROVED JURISDICTIONAL WETLAND DETERMINATION.

PHASE 2 PARKING NOTES

1. PHASE 2 PARKING IS PROVIDED AS FOLLOWS:
 - 1.1. TRUCK CHARGING (13' X 28') = 90 STALLS
2. TOTAL PARKING STALLS (PHASE 1 + 2) IS PROVIDED AS FOLLOWS:
 - 2.1. STANDARD (8.5' X 20') = 122 STALLS
 - 2.2. ADA ACCESSIBLE (8.5' X 20') = 6 STALLS
 - 2.3. TRUCK CHARGING (13' X 28') = 127 STALLS

[illegible]

NOT FOR
CONSTRUCTION

8444 Westpark Dr, Ste 120
McLean, VA 22102
703 564 8484
MG2.com

MG2

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
554 EAST GORDON STREET
SAVANNAH, GA 31401
PHONE: 912-231-4384
WWW.KIMLEY-HORN.COM



KHA PROJECT
112720000
DATE
04/13/2023
SCALE: AS SHOWN
DESIGNED BY: DAA
DRAWN BY: PEP
CHECKED BY: DAA

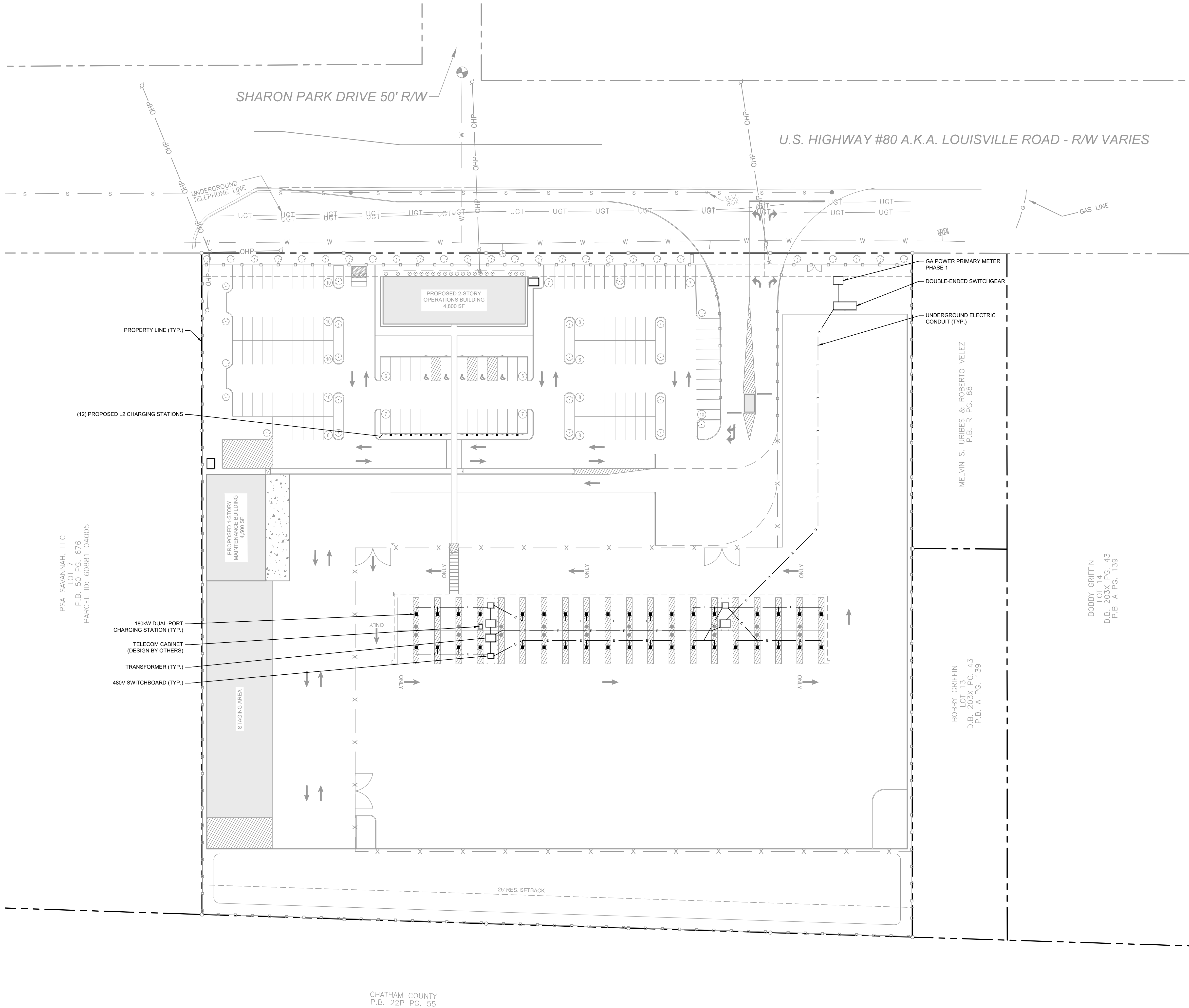
CIVIL LAYOUT PLAN - PHASE 2

**VOLTERA EV FLEET
CHARGING FACILITY**
2303 US HIGHWAY 80
GARDEN CITY, GA 31408

CITY OF GARDEN CITY
GEORGIA

SHEET SET
CONCEPTUAL
CIVIL

SHEET NUMBER
C-3.1



SITE ELECTRICAL EQUIPMENT LAYOUT LEGEND	
	PROPERTY LINE
	UNDERGROUND ELECTRIC CONDUIT
	180 kW DUAL-PORT CHARGING STATION WITH 6" DIAM. BOLLARDS
	L2 CHARGING STATION
	GA POWER PRIMARY METER
	DOUBLE-ENDED SWITCHGEAR
	TRANSFORMER
	480V SWITCHBOARD
	TELECOM CABINET (DESIGN BY OTHERS)

SITE ELECTRICAL EQUIPMENT LAYOUT NOTES	
1. GA POWER PRIMARY METERS TO BE INSTALLED PER GA POWER SPECIFICATION. FINAL LOCATION OF GA POWER PRIMARY METERS TO BE COORDINATED WITH GA POWER.	
2. ELECTRIC SERVICE TIE-IN TO BE COORDINATED WITH GA POWER.	
3. SEE SHEETS E-2.0, E-2.1, AND E-2.2 FOR ELECTRICAL ONE-LINE DIAGRAMS.	

PHASE 1 EQUIPMENT NOTES	
1. PHASE 1 SITE EQUIPMENT TO BE INSTALLED FOR THE CHARGING FACILITY SHALL INCLUDE:	
1.1.	(1) GA PRIMARY METER CUBICLE
1.2.	(1) DOUBLE-ENDED SWITCHGEAR
1.3.	(3) TRANSFORMERS
1.4.	(3) 480V SWITCHBOARDS
1.5.	(37) 180 kW DUAL-PORT CHARGING STATIONS
1.6.	(1) TELECOM CABINET (DESIGN BY OTHERS)
2. PHASE 1 SITE EQUIPMENT TO BE INSTALLED FOR THE OPERATIONS AND MAINTENANCE BUILDINGS SHALL INCLUDE:	
2.1.	(2) TRANSFORMERS
2.2.	(12) FREE-STANDING L2 CHARGING STATIONS

PSA SAVANMAH, LLC
LOT 7
P.B. 50 PG. 676
PARCEL ID: 60881 04005

180kW DUAL-PORT CHARGING STATION (TYP.)
TELECOM CABINET (DESIGN BY OTHERS)
TRANSFORMER (TYP.)
480V SWITCHBOARD (TYP.)

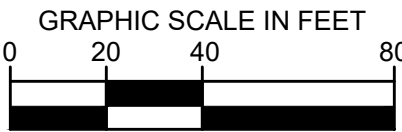
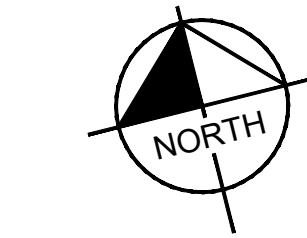
STAGING AREA

CHATHAM COUNTY
P.B. 22P PG. 55

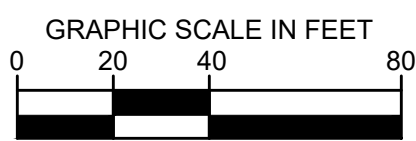
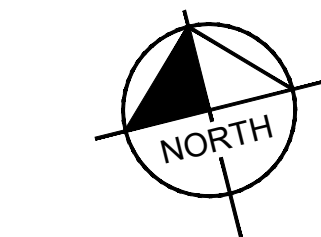
BOBBY GRIFFIN
LOT 13
D.B. 203X PG. 43
P.B. A PG. 139

MELVIN S. URIBES & ROBERTO VELEZ
P.B. R PG. 88

BOBBY GRIFFIN
LOT 14
D.B. 203X PG. 43
P.B. A PG. 139



VOLTERA EV FLEET CHARGING FACILITY		SHEET SET		CONCEPTUAL ELECTRICAL		SHEET NUMBER		ES-1.0		CITY OF GARDEN CITY		GEORGIA		SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 1		KHA PROJECT		112720000		DATE		04/13/2023		SCALE: AS SHOWN		DESIGNED BY: JCS		DRAWN BY: JCS		CHECKED BY: JCS		voltera		Kimley»Horn		© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 554 EAST GORDON STREET GARDEN CITY, GA 31408 PHONE 912-231-4384 WWW.KIMLEY-HORN.COM		8444 Westpark Dr, Ste 120 McLean, VA 22102 703 564 8484 MG2.com		NOT FOR CONSTRUCTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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PHASE 2 EQUIPMENT NOTES

1. PHASE 2 SITE EQUIPMENT TO BE INSTALLED FOR THE CHARGING FACILITY SHALL INCLUDE:
 - 1.1. (1) GA PRIMARY METER CUBICLE
 - 1.2. (8) TRANSFORMERS
 - 1.3. (8) 480V SWITCHBOARDS
 - 1.4. (90) 180 kW DUAL-PORT CHARGING STATIONS
 - 1.5. (2) TELECOM CABINET (DESIGN BY OTHERS)

NOT FOR
CONSTRUCTION

MG2

Kimley»Horn
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554 EAST GORDON STREET
SAVANNAH, GA 31401
PHONE: 912-231-4384
WWW.KIMLEY-HORN.COM



KHA PROJECT	112720000	DATE	04/13/2023
SCALE:	AS SHOWN	DESIGNED BY:	JCS
DRAWN BY:	PEP	CHECKED BY:	JCS

SITE ELECTRICAL EQUIPMENT LAYOUT - PHASE 2

**VOLTERA EV FLEET
CHARGING FACILITY**
2303 US HIGHWAY 80
GARDEN CITY, GA 31408

OF GARDEN CITY GEORGIA

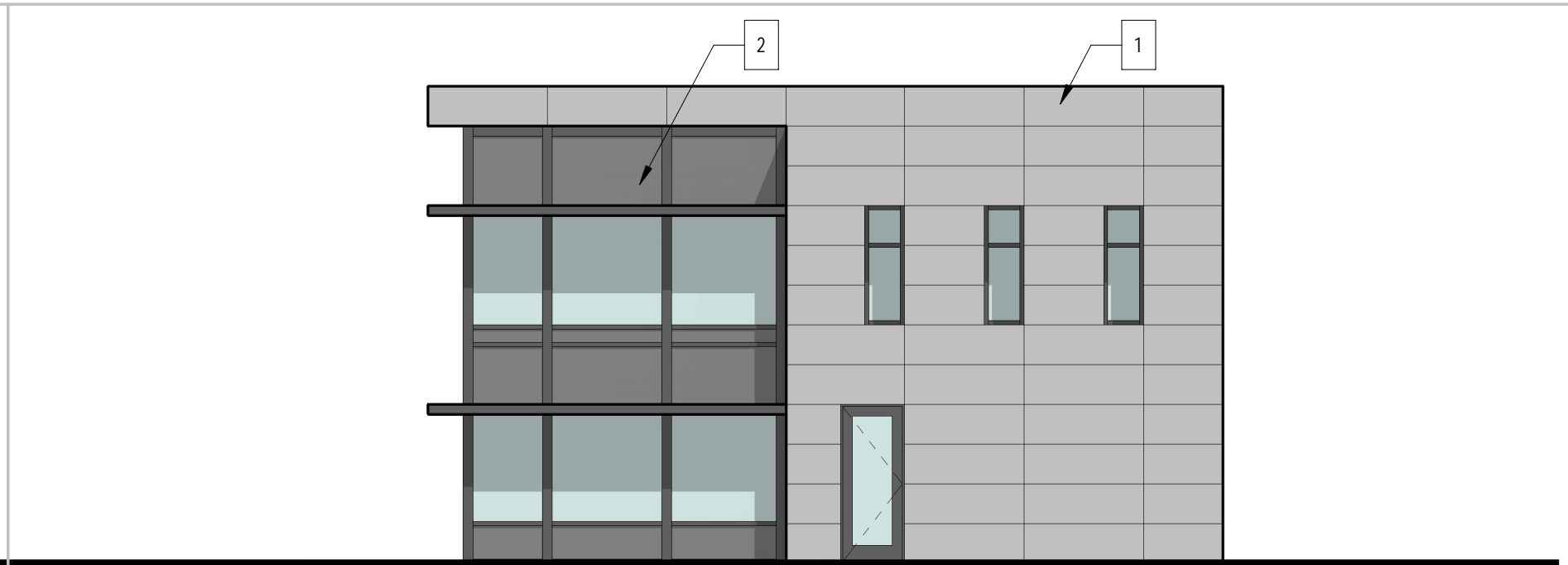
SHEET SET
CONCEPTUAL
ELECTRICAL

SHEET NUMBER
ES-1.1

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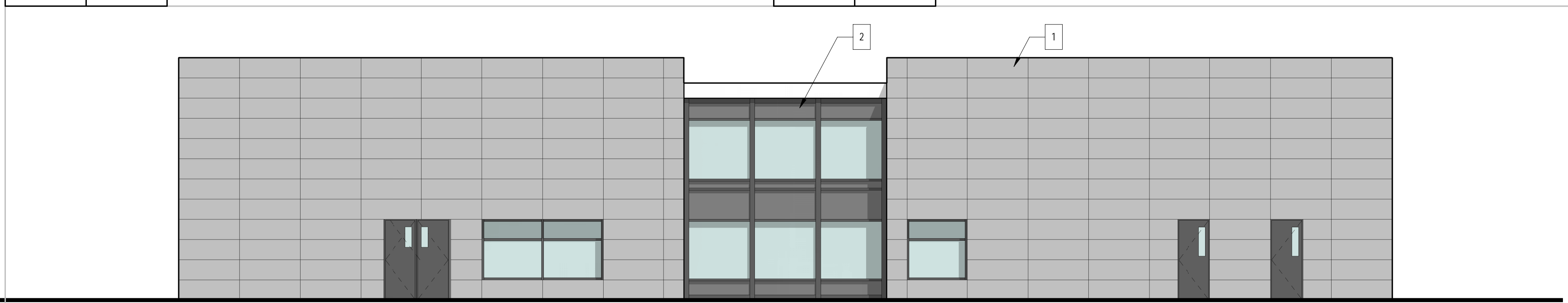


S1	SCALE	OPERATIONS BUILDING PLAN SOUTH
	1/8" = 1'-0"	

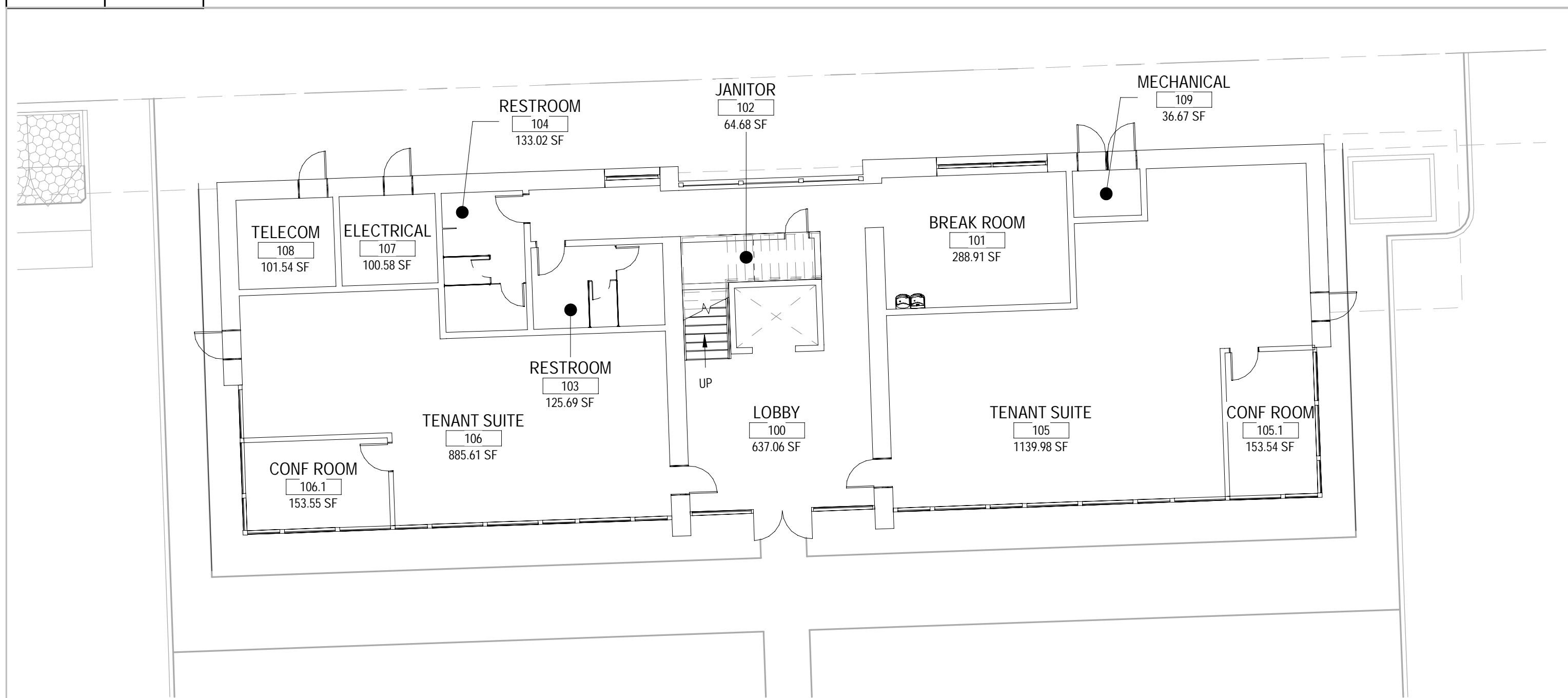


N1	SCALE	OPERATIONS BUILDING PLAN WEST
	1/8" = 1'-0"	

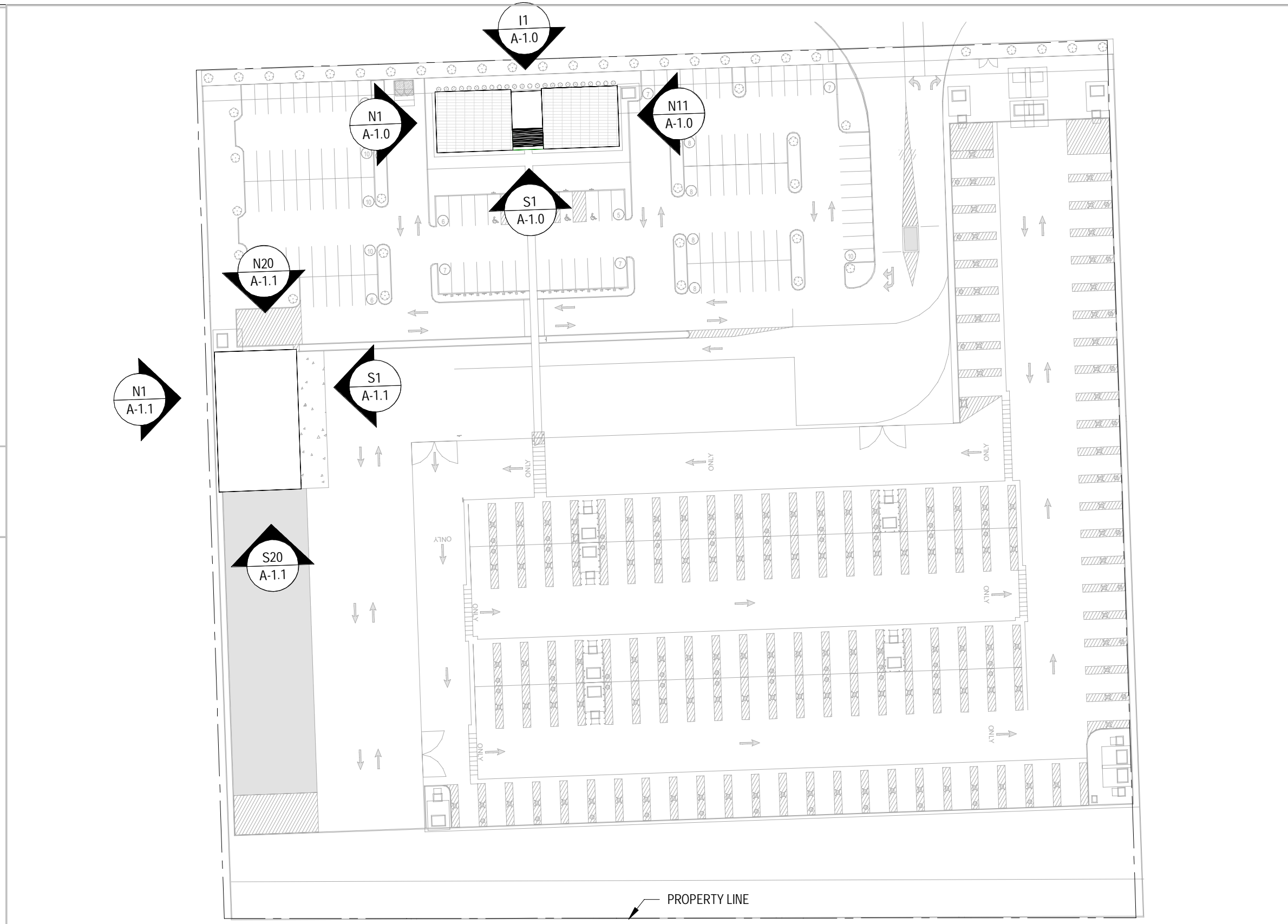
N11	SCALE	OPERATIONS BUILDING PLAN EAST
	1/8" = 1'-0"	



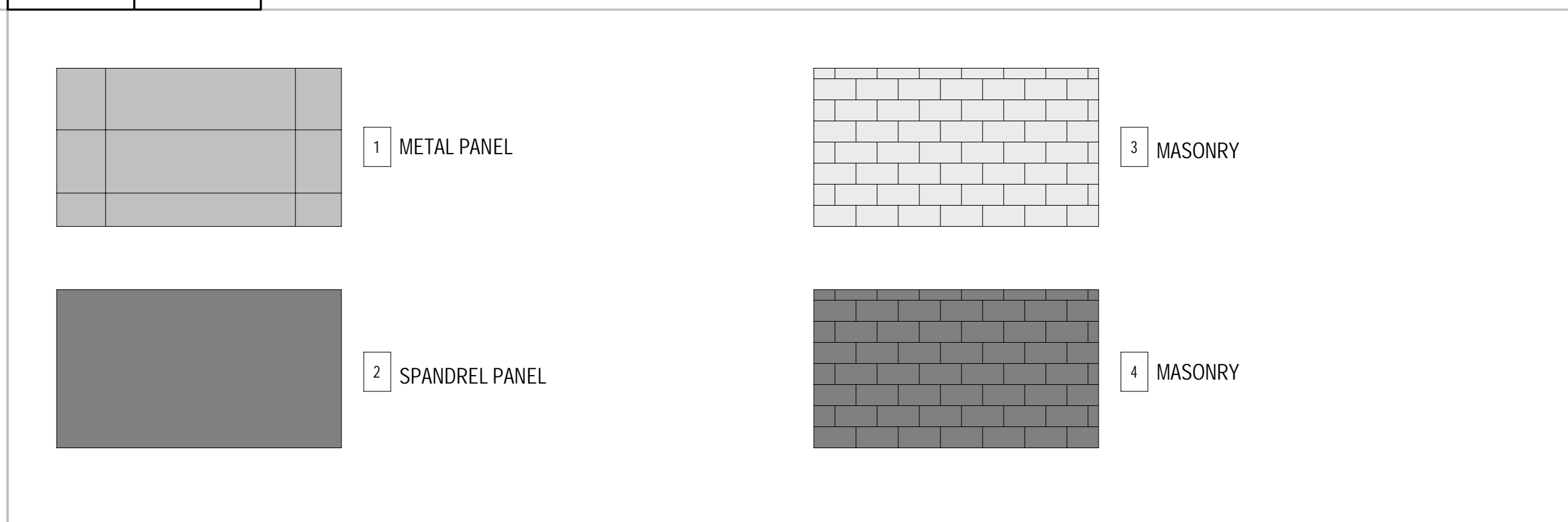
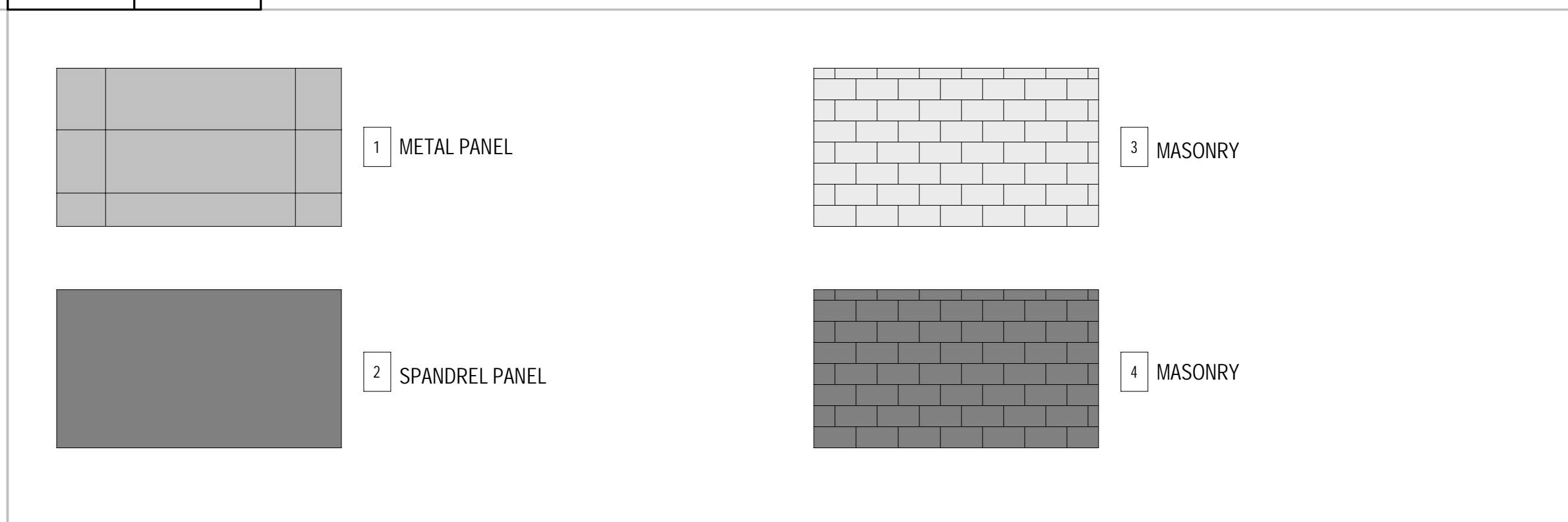
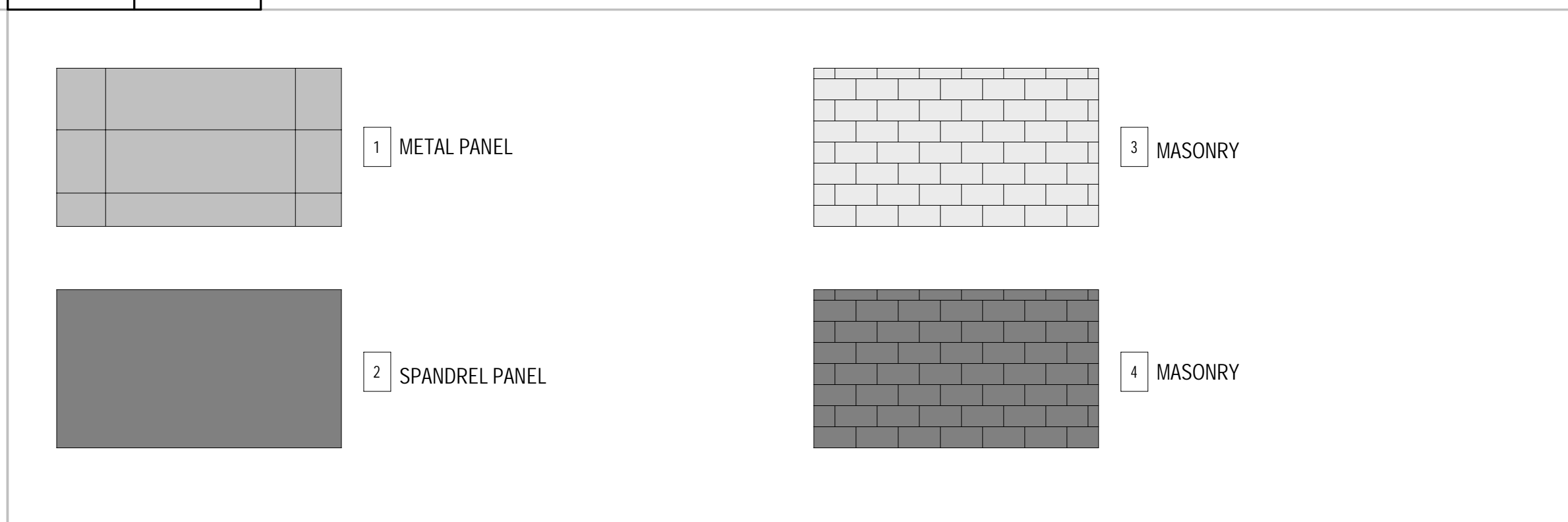
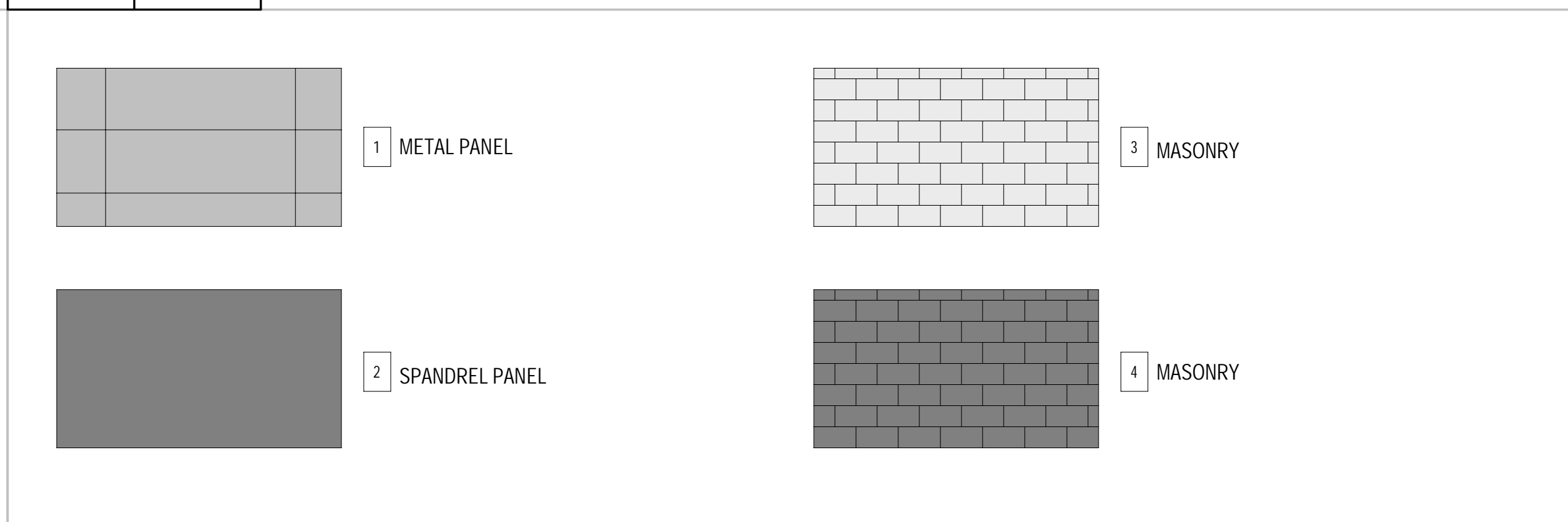
11	SCALE	OPERATIONS BUILDING PLAN NORTH
	1/8" = 1'-0"	



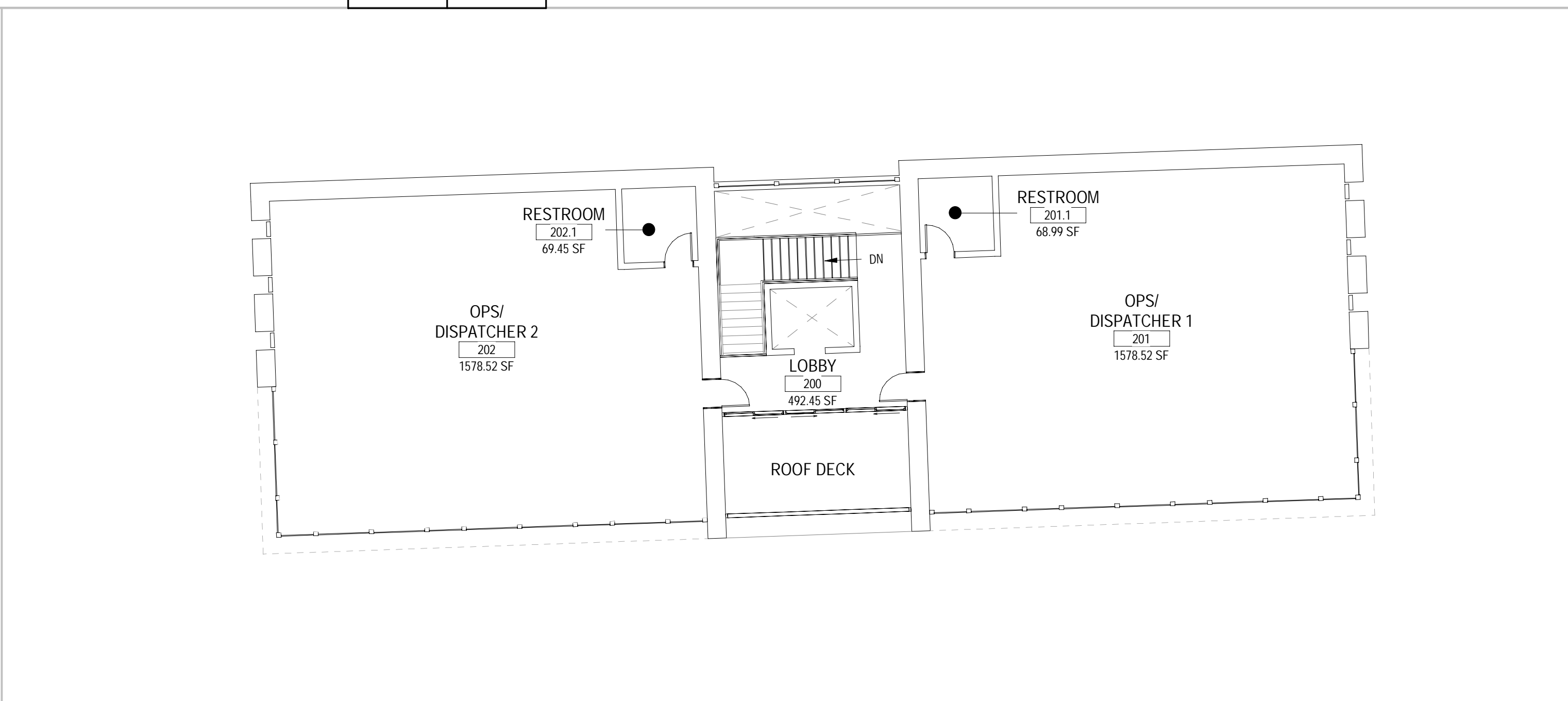
A1	SCALE	OPERATIONS BUILDING GROUND FLOOR
	3/32" = 1'-0"	



1	SCALE	SITE PLAN
	1:820	



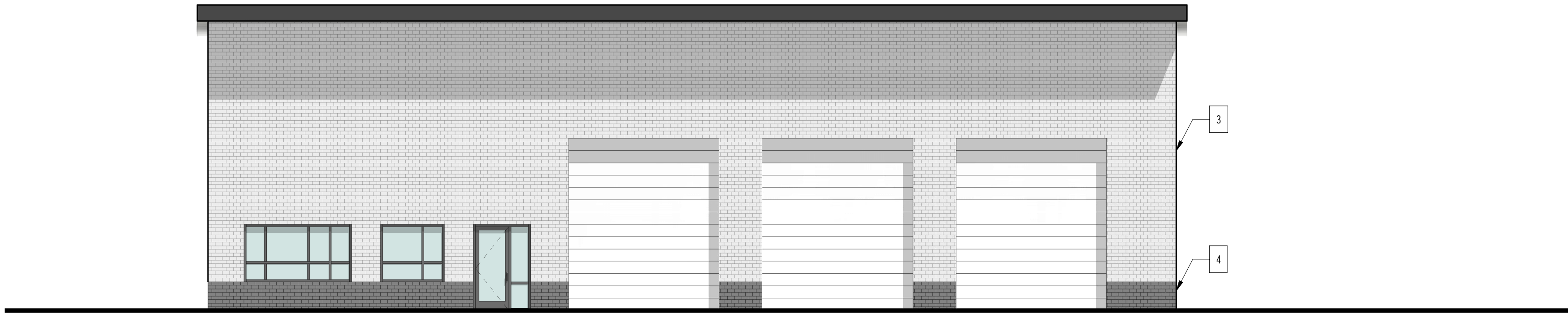
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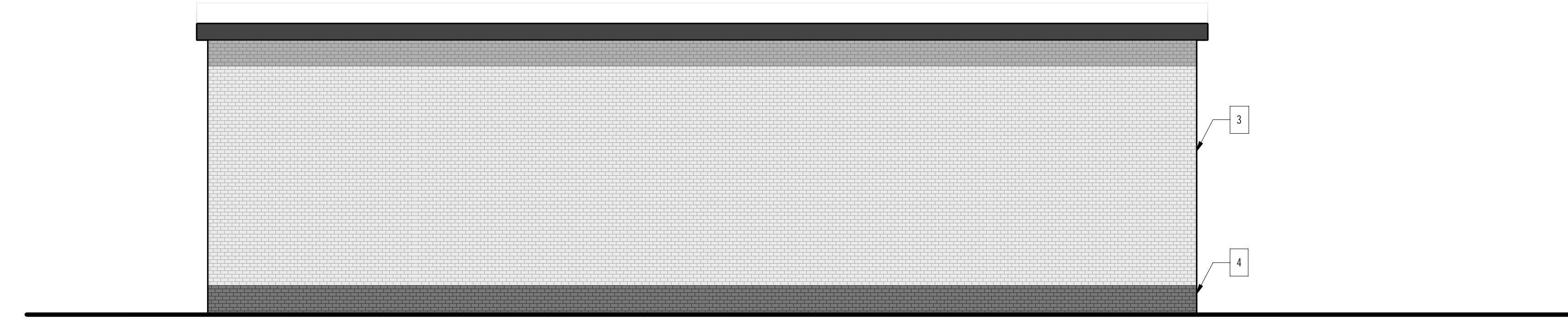
A16	SCALE	OPERATIONS BUILDING SECOND FLOOR
	3/32" = 1'-0"	

[illegible]

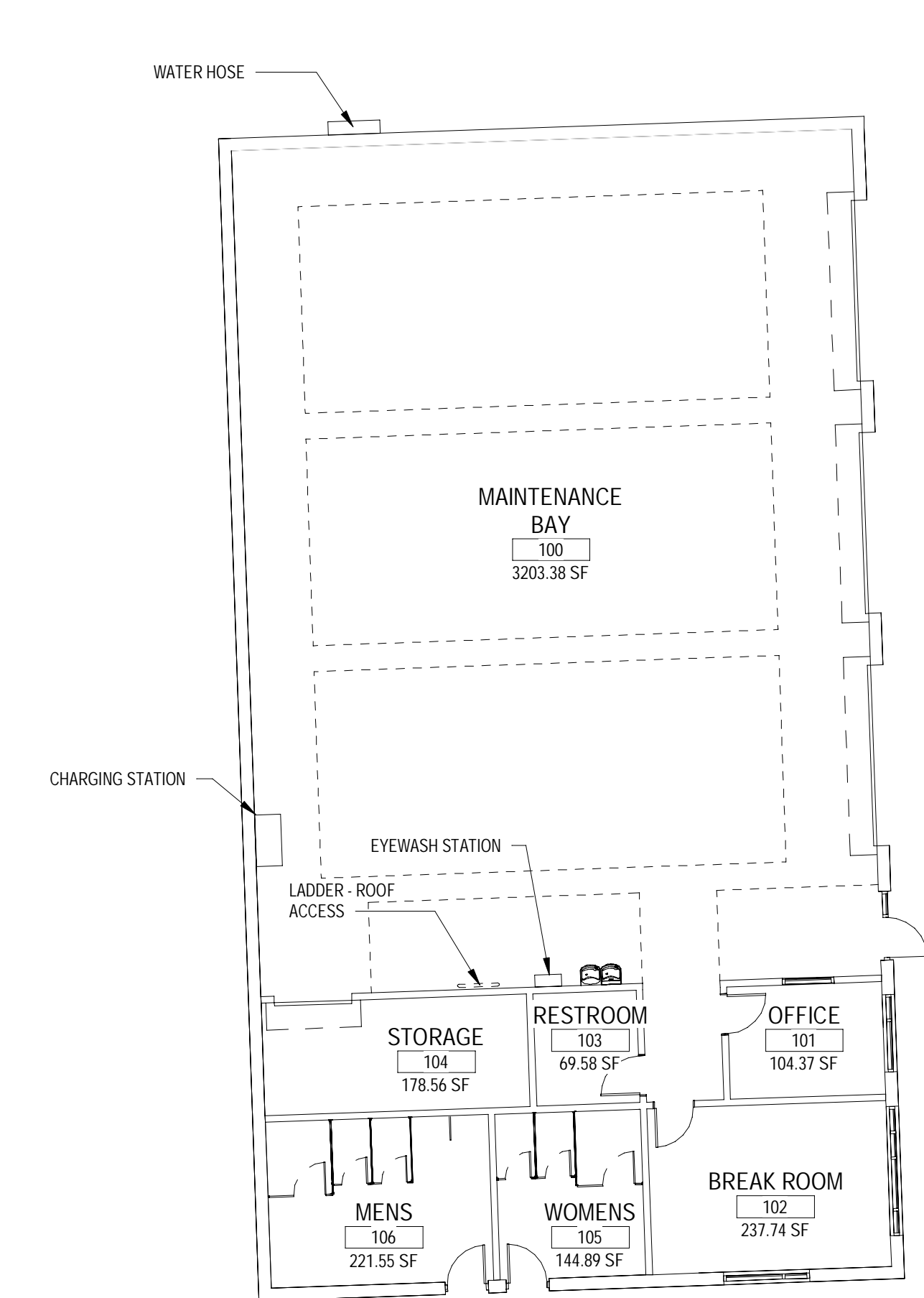
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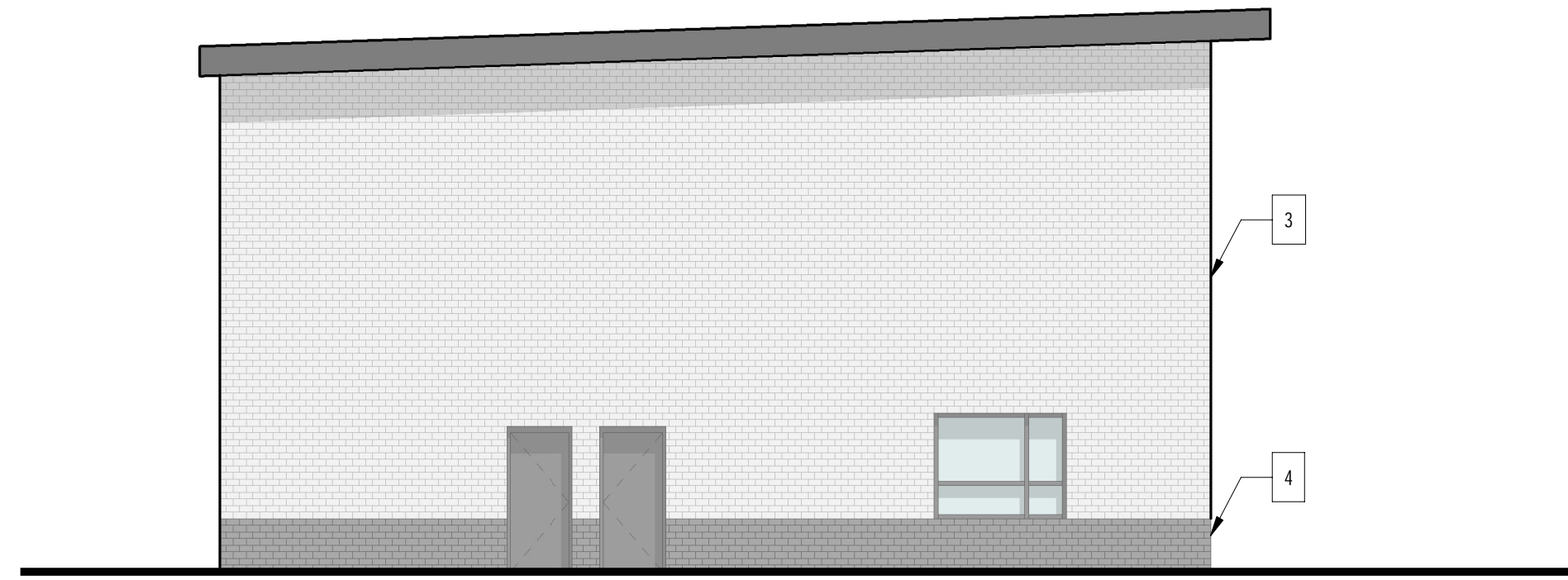
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	1/8" = 1'-0"	



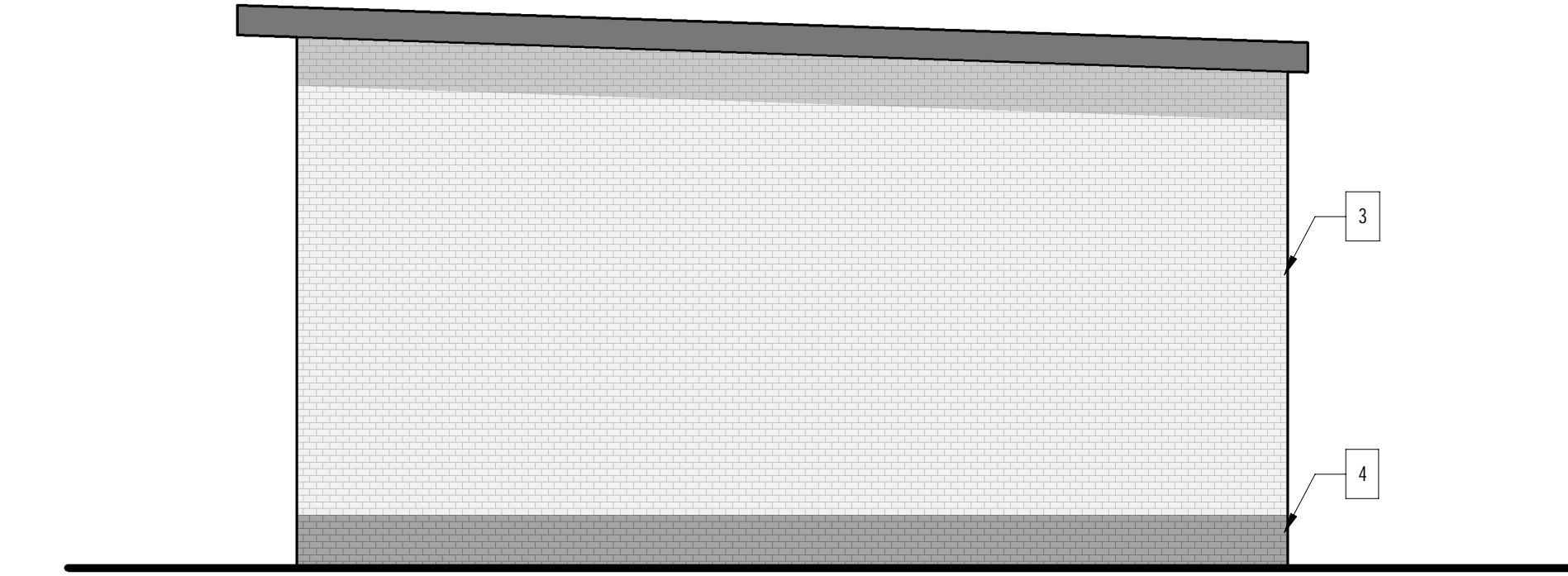
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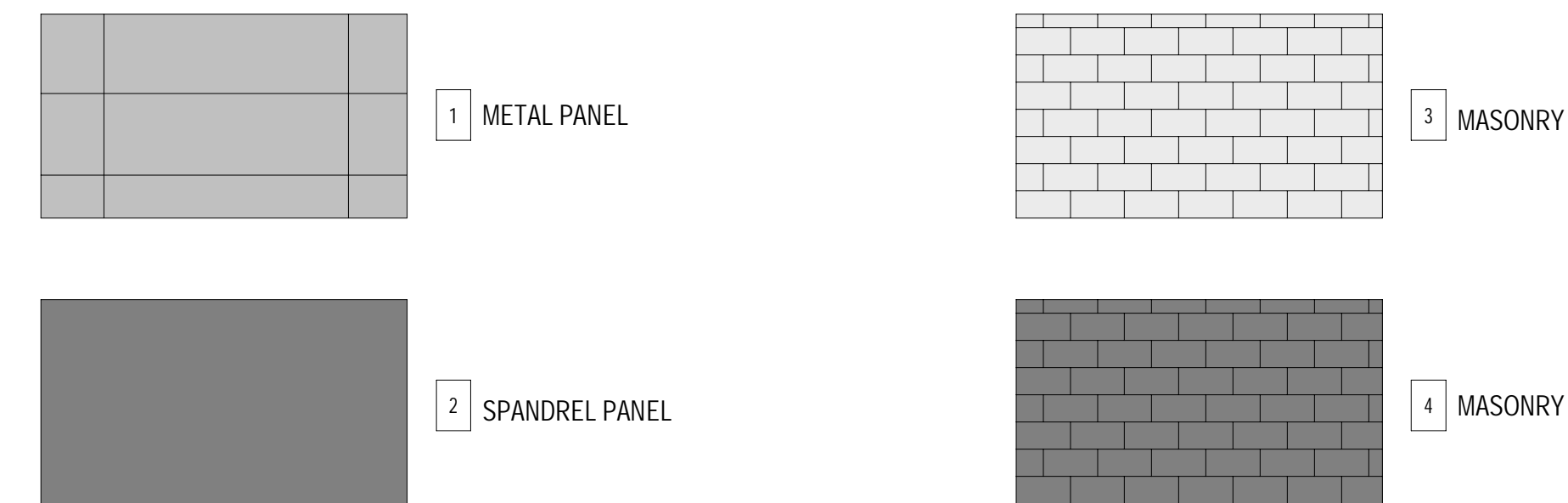
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	3/32" = 1'-0"	



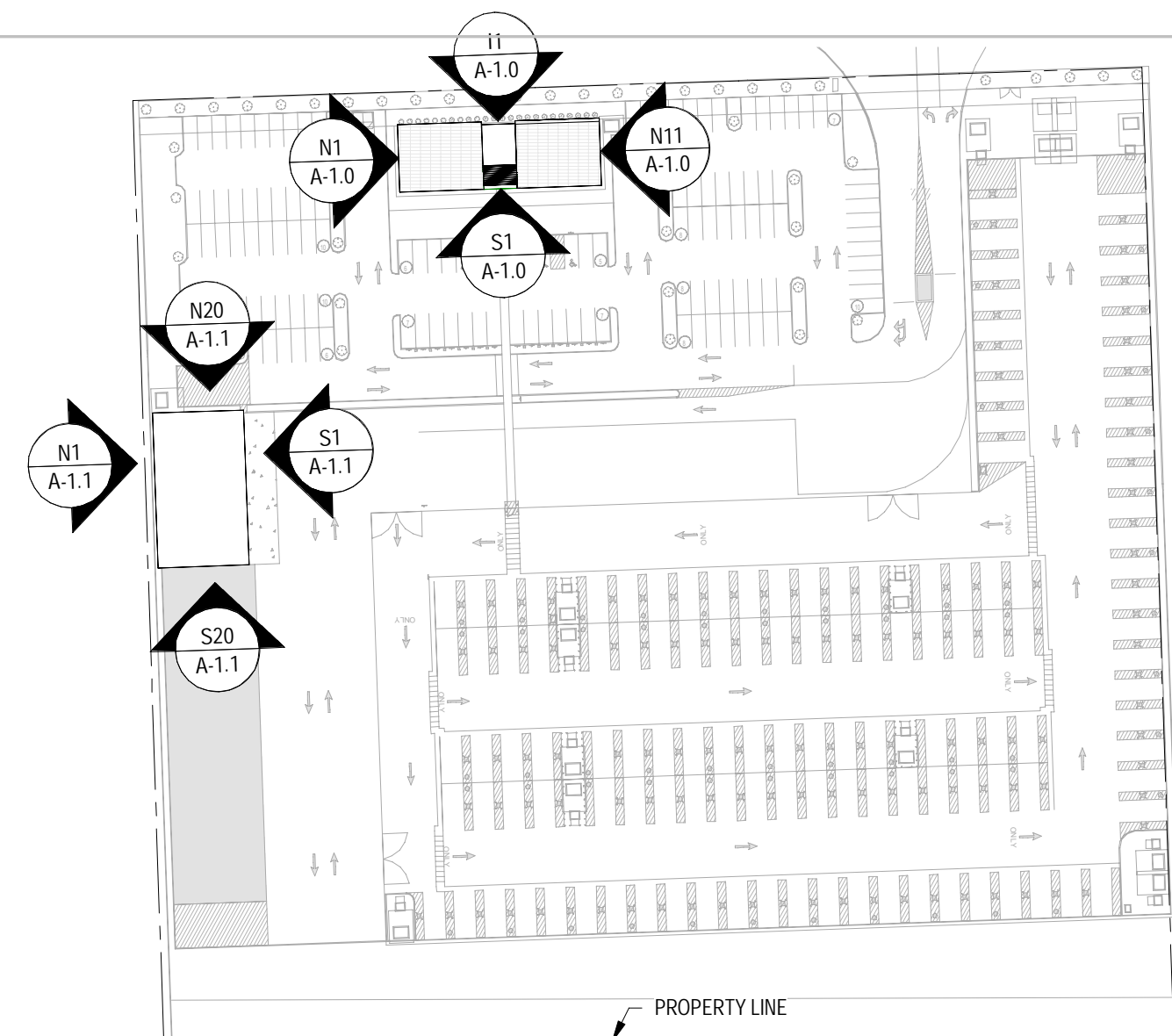
S20	SCALE	MAINTENANCE BLDG PLAN SOUTH
	1/8" = 1'-0"	



N20	SCALE	MAINTENANCE BLDG PLAN NORTH
	1/8" = 1'-0"	



SCALE	MATERIAL LEGEND
1/4" = 1'-0"	



A20	SCALE	SITE PLAN
	1" = 100'-0"	

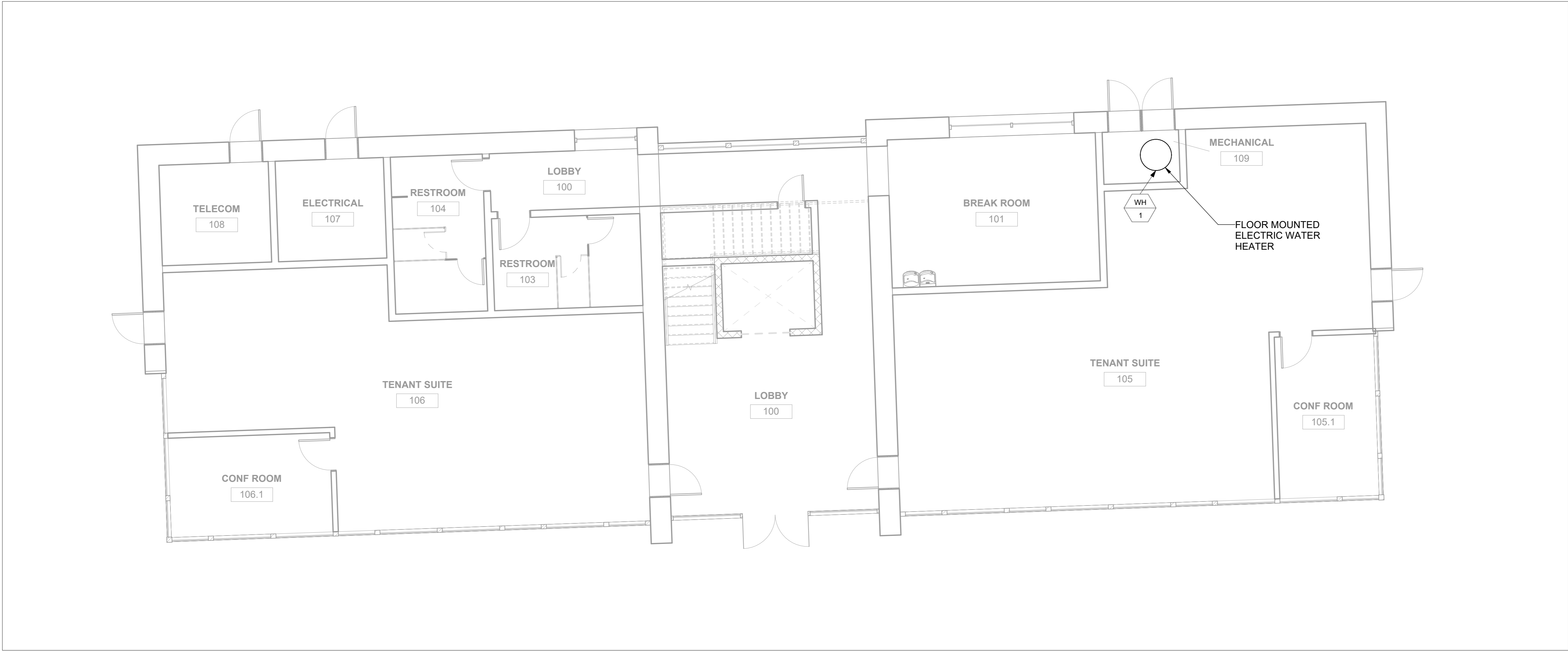
SHEET SET		CITY OF GARDEN CITY		GEORGIA	
CONCEPTUAL ARCH		VOLTERA EV FLEET CHARGING FACILITY		PLANS & ELEVATIONS - MAINTENANCE BUILDING	
SHEET NUMBER		2303 US HIGHWAY 80 GARDEN CITY, GA 31408			
MG2 PROJECT 22-6031-01 DATE 04/13/2023 SCALE: AS SHOWN DESIGNED BY: DRAWN BY: KG CHECKED BY: EO					
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 554 EAST GORDON STREET SUITE 200 PHONE: 912.231.4384 WWW.KIMLEY-HORN.COM					
8444 Westpark Dr, Ste 120 McLean, VA 22102 703.564.8464 MG2.com					
NOT FOR CONSTRUCTION					
NO.		REVISIONS		DATE BY	

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1

OPERATIONS - LEVEL 1

3/16" = 1'-0"



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PC2304: General Development Plan Review

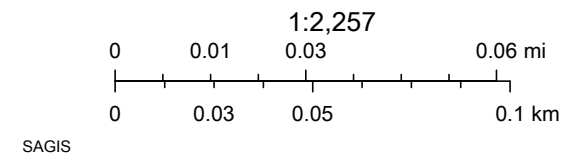


5/3/2023, 12:06:30 PM

Municipal Boundary POOLER THUNDERBOLT UNINCORPORATED

BLOOMINGDALE PORT WENTWORTH TYBEE ISLAND Zoning

GARDEN CITY SAVANNAH VERNONBURG Owner, PIN and Address Labels



City of Garden General Development Plan Application



Development Information

Development Name		
Property Address		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60988A02007	0.91	P-I-2
Project Description		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private		<input type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner	
Name	Address
Phone	Email
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Steven Carbone _____
Print Name Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: May 2, 2023
Re: PC 2319 – 1622 Dean Forest Road

Application Type	General Development Plan
Case Number	PC 2319
Applicant	Steve Carbone
Name of Project	Industrial Electro Mechanics
Property Address	1622 Dean Forest Road
Parcel IDs	60988A 02007
Area of Property	0.91 acres
Current Zoning	P-I-2, Planned Industrial
Proposed Land Use	Mechanical shop

GENERAL INFORMATION

Project Description: The applicant is proposing to construct a mechanical shop.

Pursuant to Section 90-43, Designation of P districts, a general development plan must be submitted for review and approval by the Planning Commission prior to development of the site. The general plan for a proposed P district shall include proposed uses and overall development standards and shall promote an environment of stable and desirable character in harmony with the established or proposed land use pattern in surrounding areas.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- 1. Proposed uses and overall development plan*

The applicant is proposing to develop a mechanical shop, which is allowed in I-2 zoning. The site plan indicates portions of the stormwater infrastructure encroaching on the adjacent property (to the east). The applicant will provide verification of recorded easements providing legal access to this infrastructure for maintenance prior to the issuance of construction permits.

2. *Facade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
The building is currently under design. The applicant intends to construct a light gray metal building that will be similar in color to adjacent buildings.
3. *Fences, landscaping, and buffers.*
The property is surrounded by I-2 properties, so no buffers are required. A chain link fence will be provided along Morgan Road. The applicant has provided landscaping information, which includes the planting of oaks, cypress, and elm trees.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
Access to the property is via Morgan Road, a private road off Dean Forest Road. The applicant provided a copy of the warranty deed stating his legal access to the property via Morgan Road.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

The applicant has provided the required information.

RECOMMENDATION

Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

SITE DEVELOPMENT PLANS

FOR

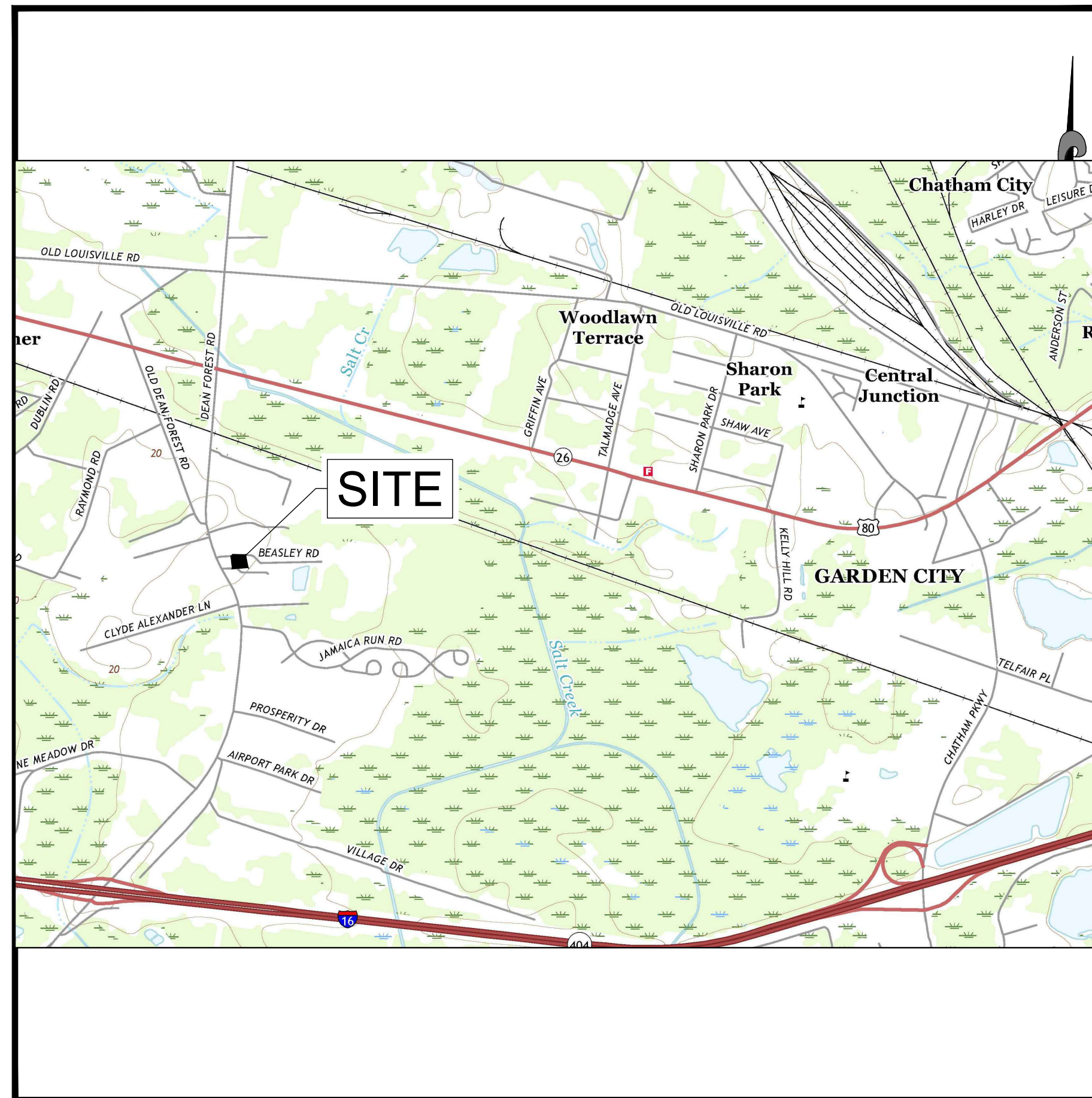
MORGAN ROAD INDUSTRIAL TRACT

GARDEN CITY, GEORGIA

Prepared for
INDUSTRIAL ELECTRO MECHANICS

PROJECT DATA

OWNER/DEVELOPER:	INDUSTRIAL ELECTRO MECHANICS 1624 DEAN FOREST ROAD GARDEN CITY, GEORGIA 31408
24HR CONTACT:	STEVE CARBONE (912) 667-0998
TAX MAP & PARCEL NUMBER:	60988A02007
PARCEL AREA:	0.92 ACRES
ZONING CLASSIFICATION:	P-I-2
PROPOSED USE:	WAREHOUSE
IMPERVIOUS AREA:	0.51 AC.
DISTURBED AREA:	0.94 AC.
TOTAL BUILDING AREA:	15,070 SF
PARKING SPACES REQUIRED:	10 SPACES
PARKING SPACES PROVIDED:	10 SPACES



VICINITY MAP
NOT TO SCALE

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS & CLEARING PLAN
4	STAKING & UTILITY PLAN
5	SEPTIC SYSTEM PLAN
6	PAVING, GRADING & DRAINAGE PLAN
7	LANDSCAPE PLAN
8	EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
9	CONSTRUCTION DETAILS
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



PROJECT LOCATION:
1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA
EMC PROJECT# 22-0039
FEBRUARY 2023



EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL- MARINE - CIVIL - SURVEY

REVISION	DESCRIPTION	DATE
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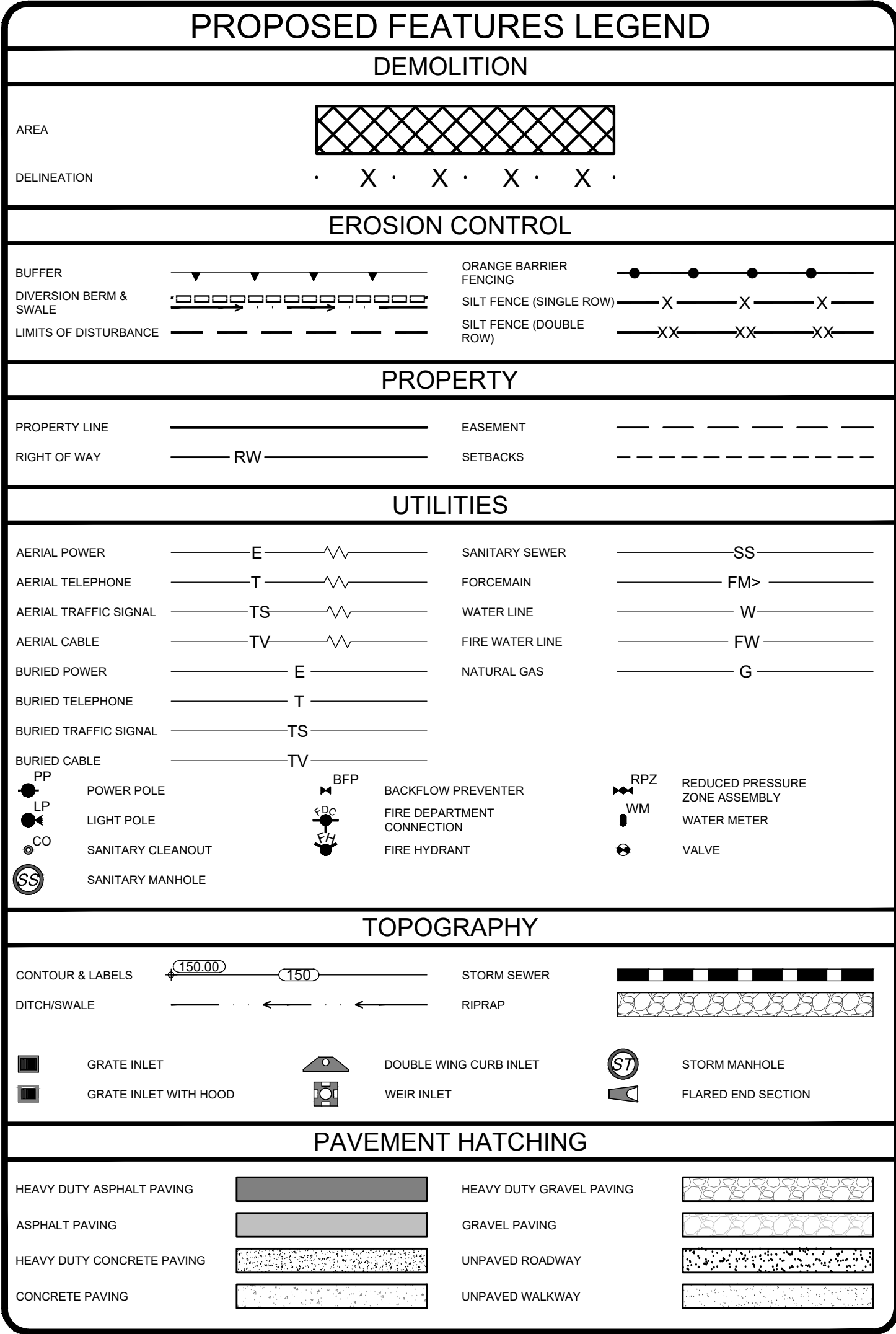
EMC ENGINEERING SERVICES, INC.
27 CHATHAM CENTER SOUTH, SUITE A
SAVANNAH, GEORGIA 31405
PHONE: (912) 232-6533
FAX: (912) 233-4580
savannah@emc-eng.com
www.emc-eng.com

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS • GREENVILLE
SAVANNAH • STATESBORO • THOMASTON • VALDOSTA

0:10:20:22-0039 MORGAN RD INDUSTRIAL TRACT GARDEN CITY DINGLID-0039C_B01 IEN.DWG 3/17/2023 8:04 AM

GENERAL NOTES

- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF GARDEN CITY SPECIFICATIONS.
- PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. BEFORE CALLING (811) THE CONTRACTOR SHALL HAVE THE FOLLOWING INFORMATION READY: COUNTY, TOWN, LOCATION, NEAREST STREET INTERSECTIONS, TYPE OF WORK (SEWER, WATER, PAVING, ETC.) YOUR COMPANY NAME, TELEPHONE NUMBER, OWNER'S NAME, DATE AND TIME YOU EXPECT TO COMMENCE CONSTRUCTION, AND WHERE AND HOW YOU CAN BE REACHED AND THE BEST TIME TO CONTACT YOU. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY VARIANCES PRIOR TO COMMENCEMENT OF WORK OR PURCHASING ANY MATERIALS.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED.
- FILL SHALL CONSIST OF SUITABLE MATERIALS WHICH ARE GENERALLY COMPOSED OF SANDS, CLAY-SAND MIXTURES, AND SILT-SAND MIXTURES AND ARE FREE OF ROOTS, TRASH, AND OTHER DELETERIOUS MATERIAL. CLAYS, SILTS, AND ORGANIC SOILS SHALL BE CONSIDERED AS UNSUITABLE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FURNISHING THE BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. BORROW MATERIAL SHALL BE CAPABLE OF BEING SHAPED AND COMPACTED TO THE REQUIRED DENSITIES SPECIFIED.
- A COMPLETE PERMIT SET OF PLANS MUST BE KEPT ON SITE AT ALL TIMES.
- PROTECTION OF EXCAVATED AREAS: - TEMPORARY FENCING SHALL BE USED AROUND OPEN EXCAVATIONS AT ALL TIMES, EXCEPT AS NECESSARY FOR IMMEDIATE CONSTRUCTION. WHEN WORK IS NOT IN PROGRESS, FENCING SHALL ENCLOSE EXCAVATED AREAS. UTILITY TRENCHES SHALL BE BACKFILLED TO GRADE AT THE END OF THE DAY, ALLOWING FOR A MAXIMUM OF 10' (FENCE-PROTECTED) TRENCH TO REMAIN OPEN.
- THIS PARCEL LIES WITHIN A ZONE X AS SHOWN ON THE FEMA FLOOD INSURANCE MAP 13051C PANEL 0129G EFFECTIVE DATE AUGUST 16, 2008.
- NO WETLANDS OR STATE WATERS ON THE SITE.
- HORIZONTAL DATUM IS GEORGIA STATE PLANE COORDINATE SYSTEM OF 1985, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD88). VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

GENERAL NOTES

MORGAN ROAD INDUSTRIAL TRACT

1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA

Prepared for:

INDUSTRIAL ELECTRO MECHANICS

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CIVIL
MARINE
ENVIRONMENTAL

OFFICE LOCATIONS: ALBANY, ATLANTA, AUGUSTA, BRUNSWICK,
COLUMBUS, SAVANNAH, STATESBORO, GREENVILLE, SC.

NO.	REVISION DESCRIPTION	BY	DATE



GRAPHIC SCALE: 1" = ####

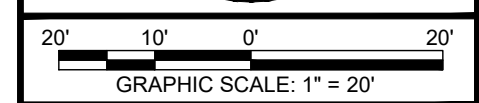

PROJECT NO.:	22-0039
DRAWN BY:	CFM
DESIGNED BY:	ABM
SURVEYED BY:	EMC
SURVEY DATE:	06/30/2022
CHECKED BY:	ABM
SCALE:	1" = ####
DATE:	FEB., 2023

SHEET

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OF

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RACT	
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PROJECT NO.:	22-0039
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11

AGGREGATE ABSORPTION FIELD SYSTEMS - SEPTIC SYSTEM NOTES:

LOCATION:

ABSORPTION FIELDS SHALL BE INSTALLED IN AREAS PROTECTED FROM EXCESSIVE SURFACE WATER, PONDING OR RUNOFF, INCLUDING BUT NOT LIMITED TO STORM WATER AND DISCHARGE FROM BUILDING GUTTERS. ABSORPTION FIELDS SHALL NOT BE INSTALLED WHERE SLOPES EXCEED 25% UNLESS THE RESULTS OF SPECIAL INVESTIGATIONS DEMONSTRATE THAT THE SLOPE LIMITATION CAN BE OVERCOME BY DESIGN OR SITE MODIFICATION. ANY SITE MODIFICATION PLAN MUST BE APPROVED BY THE LOCAL COUNTY BOARD OF HEALTH PRIOR TO MODIFICATIONS BEING CARRIED OUT. THERE SHALL BE A MINIMUM OF 24 INCHES OF VERTICAL SEPARATION FROM THE ABSORPTION FIELD TRENCH BOTTOM TO ANY SEASONAL GROUNDWATER TABLE, ROCK OR IMPERVIOUS SOIL LAYER. GREATER VERTICAL SEPARATION DISTANCES MAY BE REQUIRED IF SPECIAL INVESTIGATIONS INDICATE A POTENTIAL FOR GROUNDWATER CONTAMINATION. ON LOTS OR PARCELS OF LAND LESS THAN 3 ACRES, THE MAXIMUM PERCOLATION RATE SHALL NOT EXCEED 90 MINUTES PER INCH.

IF PROPERTIES ARE SERVED BY INDIVIDUAL WATER SUPPLY SYSTEMS, THE ABSORPTION FIELD SHALL BE INSTALLED NOT LESS THAN 50 FEET FROM PROPERTY LINES UNLESS WELLS AND ON-SITE SEWAGE MANAGEMENT SYSTEMS ARE ALREADY IN PLACE ON SURROUNDING PROPERTY AND THE REQUIRED 100 FEET SEPARATION DISTANCE BETWEEN WELLS AND ABSORPTION FIELDS CAN BE MAINTAINED. IN PRE-PLANNED DEVELOPMENTS, WHERE SITES FOR INDIVIDUAL WATER SUPPLIES AND ON-SITE SEWAGE MANAGEMENT SYSTEMS ARE PRE-LOCATED SO AS TO MAINTAIN THE 100 FEET SEPARATION DISTANCE, ABSORPTION FIELDS MAY BE INSTALLED LESS THAN 50 FEET, BUT NOT LESS THAN FIVE FEET FROM PROPERTY LINES. NO PART OF THE ABSORPTION FIELD OTHER THAN SOLID SCHEDULE 40 PVC OR EQUIVALENT PIPE WITH WATERTIGHT JOINTS SHALL BE COVERED BY BUILDINGS, PAVEMENTS, OR USED FOR PARKING AUTOMOTIVE VEHICLES OR VEHICULAR TRAFFIC. THERE SHALL BE AVAILABLE SUFFICIENT UNOBSTRUCTED LAND AREA, MEETING ALL REQUIREMENTS FOR THE INSTALLATION OF AN ON-SITE SEWAGE MANAGEMENT SYSTEM, TO PROVIDE FOR THE COMPLETE REPLACEMENT OF THE ABSORPTION FIELD. IF TOPOGRAPHICAL FEATURES PERMIT, THIS REQUIREMENT CAN BE MET BY INSTALLING THE INITIAL ABSORPTION TRENCHES ON 16 FEET CENTERS, THUS ALLOWING FOR REPLACEMENT BETWEEN THE ORIGINAL TRENCHES.

SEPTIC TANKS, AEROBIC TREATMENT UNITS AND ABSORPTION FIELDS ARE PROHIBITED WITHIN 150 FEET OF ANY PERENNIAL STREAM BANK IN A LARGE WATER SUPPLY WATERSHED TRIBUTARY THAT IS UPSTREAM TO A WATER SUPPLY RESERVOIR OF A GOVERNMENTALLY OWNED PUBLIC DRINKING WATER SUPPLY INTAKE AND WITHIN A SEVEN MILE RADIUS OF THE RESERVOIR BOUNDARY AS REQUIRED BY RULES OF THE GEORGIA DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION, CHAPTER 391-3-16-.01-CRITERIA FOR WATER SUPPLY WATERSHEDS (HEREAFTER CHAPTER 391-3-16-.01). IN A SMALL WATER SUPPLY WATERSHED: SEPTIC TANKS, AEROBIC TREATMENT UNITS AND ABSORPTION FIELDS ARE PROHIBITED WITHIN 150 FEET OF ANY PERENNIAL STREAM BANK UPSTREAM OF A SMALL WATER SUPPLY RESERVOIR OF A GOVERNMENTALLY OWNED PUBLIC DRINKING WATER SUPPLY INTAKE WITHIN A SEVEN MILE RADIUS OF THE INTAKE OR WATER SUPPLY RESERVOIR; ADDITIONALLY THESE ARE FURTHER PROHIBITED WITHIN 75 FEET OF ANY PERENNIAL STREAM BANK UPSTREAM AND OUTSIDE THE SEVEN MILE RADIUS WITHIN THE SMALL WATER SUPPLY WATERSHED AS REQUIRED BY CHAPTER 391-3-16-.01.

ABSORPTION FIELDS MAY NOT BE INSTALLED IN THE 100 FEET BUFFER AREA OF RIVERS CLASSIFIED FOR PROTECTION UNDER THE RULES OF THE DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION, CHAPTER 391-3-16-.04 CRITERIA FOR RIVER CORRIDOR PROTECTION.

MINIMUM DESIGN AND CONSTRUCTION CRITERIA:

- ABSORPTION LINES AND ABSORPTION TRENCH BOTTOMS SHALL BE TRUE TO GRADE.
- TRENCH BOTTOM DEPTH SHALL BE BASED ON SOIL CONDITIONS AS DETERMINED BY CRITERIA IN THIS MANUAL.
- A MINIMUM OF SIX TO TWELVE INCHES OF EARTH COVER IS REQUIRED OVER ABSORPTION LINES.
- ABSORPTION LINE LATERALS SHALL BE SPACED A MINIMUM OF SEVEN FEET APART, CENTER TO CENTER.
- ABSORPTION TRENCHES SHALL BE NO MORE THAN 36 INCHES WIDE.
- THE MINIMUM DEPTH OF AGGREGATE SHALL BE TWELVE INCHES WITH SIX INCHES BELOW THE PERFORATED PIPE AND FILLED TO TWO INCHES ABOVE THE PIPE.
- PERFORATED PIPE SHALL BE LAID IN THE CENTER OF THE TRENCH WITH THE PERFORATIONS ORIENTED TOWARD THE BOTTOM OF THE TRENCH.
- A LAYER OF PERVIOUS BUILDING PAPER, STRAW OR SIMILAR PERMEABLE MATERIAL APPROVED BY THE TECHNICAL REVIEW COMMITTEE SHALL BE PLACED OVER THE AGGREGATE BEFORE BACK FILLING.
- APPROVED SOLID PIPE AND FITTINGS WITH SEALED, WATERTIGHT JOINTS SHALL BE USED FOR HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OR GRADE AND TO CROSS UNDER ROADWAYS OR PAVED AREAS. SECTIONS OF SOLID PIPE SHALL NOT BE CONSIDERED IN DETERMINING THE TOTAL ABSORPTION TRENCH BOTTOM AREA.
- EXCAVATION FOR ABSORPTION TRENCHES IN SOILS OTHER THAN SANDS SHALL NOT BE CONDUCTED WHEN WET DUE TO THE POTENTIAL IRREVERSIBLE DAMAGE TO SOIL STRUCTURE, SUCH AS COMPACTION AND SMEARING.
- PVC FORCEMAIN FROM PUMP TANK TO DISTRIBUTION BOX SHALL BE AWWA C900, DR 25 (100 PSI). FORCEMAIN SHALL HAVE 3' MINIMUM COVER UNDER DRIVEWAY.

DISTRIBUTION BOX METHOD:

ON LEVEL OR SLOPING TOPOGRAPHY, THE DISTRIBUTION BOX METHOD MAY BE USED AND SHALL BE REQUIRED WHEN DOSING TANKS ARE USED. A FIRM EARTHEN FOUNDATION SECURED BY CONCRETE OR CONCRETE FOUNDATION FOR DISTRIBUTION BOXES EXTENDING AT LEAST 12 INCHES BEYOND THE WALLS OF THE BOX SHALL BE PROVIDED TO INSURE AGAINST TILTING OF THE DISTRIBUTION BOX. INSTALLATION OF THE DISTRIBUTION BOX SHALL BE MADE TO PROVIDE EQUAL FLOW TO EACH ABSORPTION LINE EXITING FROM THE BOX. THE TOP OF THE DISTRIBUTION BOX SHALL HAVE A MINIMUM EARTH COVER OF SIX INCHES, BUT NO MORE THAN TWELVE INCHES UNLESS PROVISIONS ARE MADE FOR EASY ACCESS TO THE DISTRIBUTION BOX. THE SEWER FROM THE SEPTIC TANK, AEROBIC TREATMENT UNIT OR DOSING TANK SHALL ENTER THE DISTRIBUTION BOX AND TERMINATE INSIDE THE DISTRIBUTION BOX WITH AN ELBOW TURNED DOWNWARD TO FORM A SUBMERGED OUTLET AT NORMAL WATER LEVEL TO MINIMIZE TURBULENCE. ALTERNATELY, A BAFFLE MAY BE USED IF THE SAME FUNCTION IS ACCOMPLISHED. ABSORPTION LINES OF EQUAL LENGTH SHALL BE CONNECTED TO THE DISTRIBUTION BOX OUTLETS BY WATERTIGHT INDEPENDENT SEWERS CONSISTING OF FOUR-INCH SCHEDULE 40 PVC PIPE OR EQUIVALENT. ALL INDEPENDENT SEWER LINES SHALL BE INSTALLED LEVEL AT THE SAME ELEVATION FOR TWO FEET. BEGINNING TWO FEET FROM THE DISTRIBUTION BOX TO THE BEGINNING OF THE ABSORPTION LINE, INDEPENDENT SEWER LINES SHALL BE INSTALLED TO PROVIDE A MINIMUM DOWNWARD GRADE CHANGE OF TWO INCHES FROM THE DISTRIBUTION BOX OUTLET TO THE PERFORATED PIPE AT THE BEGINNING OF THE ABSORPTION LINE. ABSORPTION LINES SHALL BE INSTALLED LEVEL OR ON A UNIFORM GRADE OF NO MORE THAN FOUR INCHES OF FALL FOR THE ENTIRE LENGTH OF THE INDIVIDUAL ABSORPTION LINE. ABSORPTION LINES FROM DISTRIBUTION BOXES USED IN CONJUNCTION WITH DOSING TANKS SHALL NOT EXCEED 125 FEET IN LENGTH.

UTILITY NOTES

- THE CONTRACTOR SHALL PROVIDE THREE WORKING DAYS NOTICE TO THE UTILITIES PROTECTION CENTER BY CALLING 811 IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE SURVEYOR. NO EXCAVATIONS OR SUBSURFACE LOCATING SERVICES WERE MADE DURING THE PERFORMANCE OF THE TOPOGRAPHIC SURVEY TO LOCATE / IDENTIFY BURIED UTILITIES / STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL BE RESPONSIBLE FOR THE PROPER FIT OF ALL COMPONENTS. SOME DIMENSIONS AND CONDITIONS MAY VARY. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE.
- A 10 FOOT HORIZONTAL AND 18 INCH VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND ANY WATER OR STORM LINES. WATER AND STORM LINES SHALL BE ABOVE ANY SANITARY LINES.
- MAINTAIN A MINIMUM OF 4' OF COVER ABOVE WATER MAINS.
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 1% SLOPE UNLESS OTHERWISE NOTED.
- FOR ANY WORK IN DOT RIGHT-OF-WAY, AN ENCROACHMENT AND/OR UTILITY PERMIT MAY BE REQUIRED.
- ALL METERS, VALVES, AND BACKFLOW PREVENTORS ARE TO BE IN COMPLIANCE WITH THE LOCAL UTILITY AUTHORITY'S REQUIREMENTS.
- ADJUST ALL TOP OF STRUCTURE ELEVATIONS (MANHOLES, CLEANOUTS, VALVE BOXES, ETC.) TO FINISHED GRADE ELEVATIONS.
- ALL SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY'S STANDARDS AND SPECIFICATIONS.
- AT THE END OF EACH DAY'S WORK, REMOVE ANY DEBRIS, MATERIAL, ETC. (RESULTING FROM CONTRACTOR'S UTILITY OPERATIONS) THAT IS NOT WITHIN THE CONTRACTOR CONSTRUCTION LIMITS.
- ALL PROPOSED AND EXISTING PAVEMENT AND CURB TO REMAIN SHALL BE PROTECTED. IF DAMAGED, IT SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS REQUIRED TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES.

ON-SITE SEWAGE MANAGEMENT SYSTEM NOTES:

AN ON-SITE SEWAGE MANAGEMENT / PERMIT MUST BE OBTAINED FROM THE CHATHAM COUNTY ENVIRONMENTAL HEALTH DEPARTMENT

SEPTIC TANK/ATU SHOULD BE LOCATED WITH THE FOLLOWING GUIDELINES:

- NO LESS THAN 50' FROM EXISTING OR PROPOSED WELLS/SPRINGS, SINK HOLES OR SUCTION LINES
- NO LESS THAN 25' FROM GEOTHERMAL BORE HOLES, LAKES, PONDS, STREAMS, WATER COURSES, AND OTHER IMPOUNDMENTS
- NO LESS THAN 10' FROM PRESSURE WATER SUPPLY LINES.
- NO LESS THAN 10' FROM PROPERTY LINES
- NO LESS THAN 15' FROM A DRAINAGE DITCH OR EMBANKMENT.
- NO LESS THAN 10' FROM HARDSCAPES, DRIVES, SWIMMING POOLS, AND BUILDING FOUNDATIONS

ABSORPTION FIELDS SHOULD BE LOCATED WITH THE FOLLOWING GUIDELINES:

- NO LESS THAN 100' FROM EXISTING OR PROPOSED WELLS, SPRINGS, OR SINKHOLES
- NO LESS THAN 10' FROM WATER SUPPLY LINES AND BUILDINGS WITH BASEMENTS
- NO LESS THAN 5' FROM BUILDINGS WITHOUT BASEMENTS, OTHER STRUCTURES, DRIVES, AND PROPERTY LINES
- NO LESS THAN 15' FROM AN EMBANKMENT, SWIMMING POOL FOUNDATION, DRAINAGE DITCH OR TRASH PITS
- NO LESS THAN 50' FROM GEOTHERMAL BORE HOLES AND THE NORMAL WATER LEVEL OF ANY IMPOUNDMENT, TRIBUTARY, STREAM, OR OTHER BODY OF WATER, INCLUDING PONDED AREAS OF WETLANDS.

PRIMARY & SECONDARY SEPTIC DRAIN FIELD SIZING CALCULATIONS:

PROPOSED INDUSTRIAL SHOP

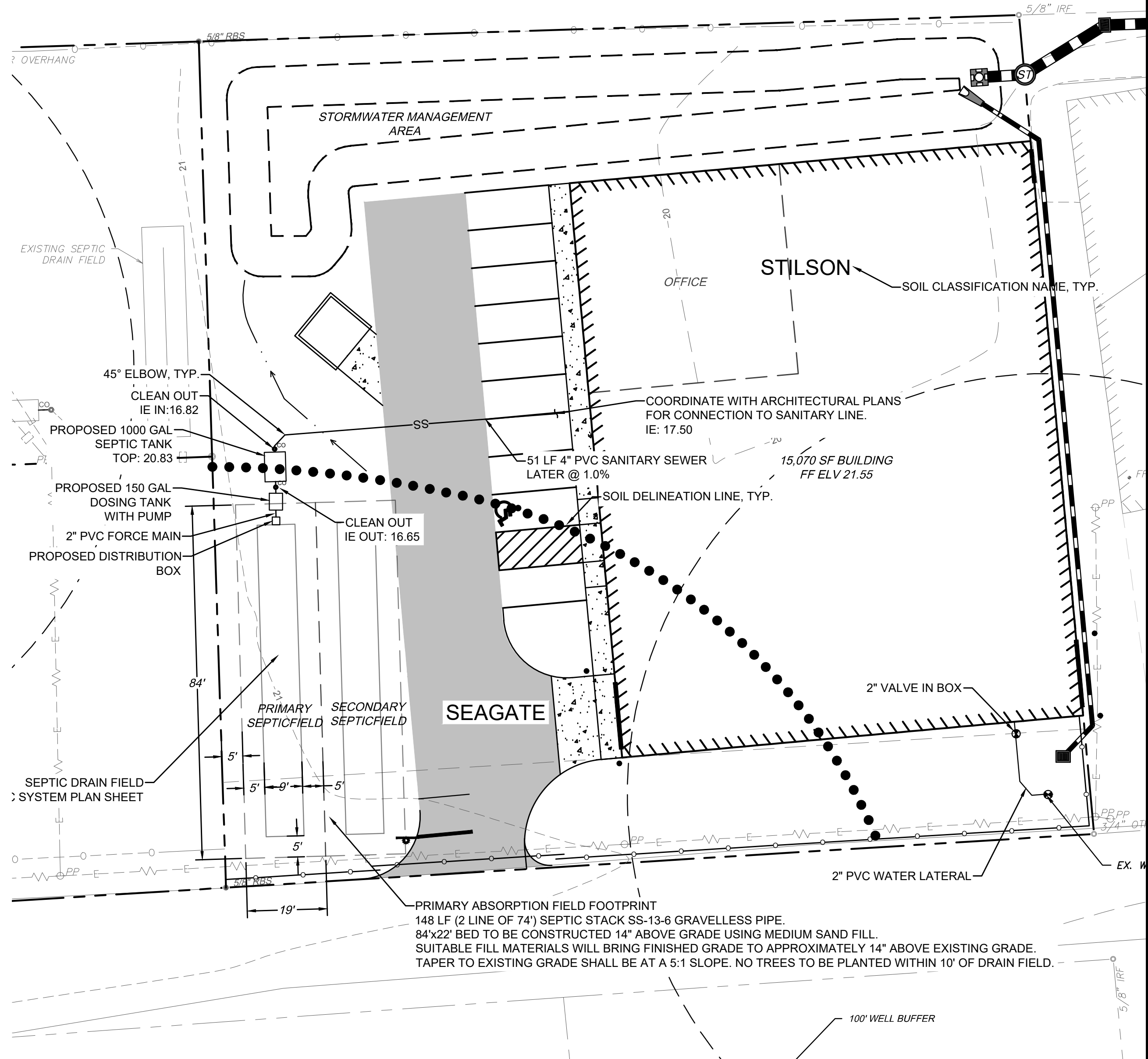
PROPOSED USE: INDUSTRIAL/SHOP
SANITARY SEWER FLOW RATE = 30 GPD/PERSON
EMPLOYEES = 20 PERSONS

TOTAL FLOW = 600 GPD

PERCOLATION COEFFICIENT CALCULATIONS FOR NON-RESIDENTIAL FACILITIES
(TABLE 9.F FROM OSSM)
PERCOLATION RATE (T): 30 MINUTES PER INCH
PERCOLATION COEFFICIENT (5 / SQ ROOT T): 0.913 GPD / SF

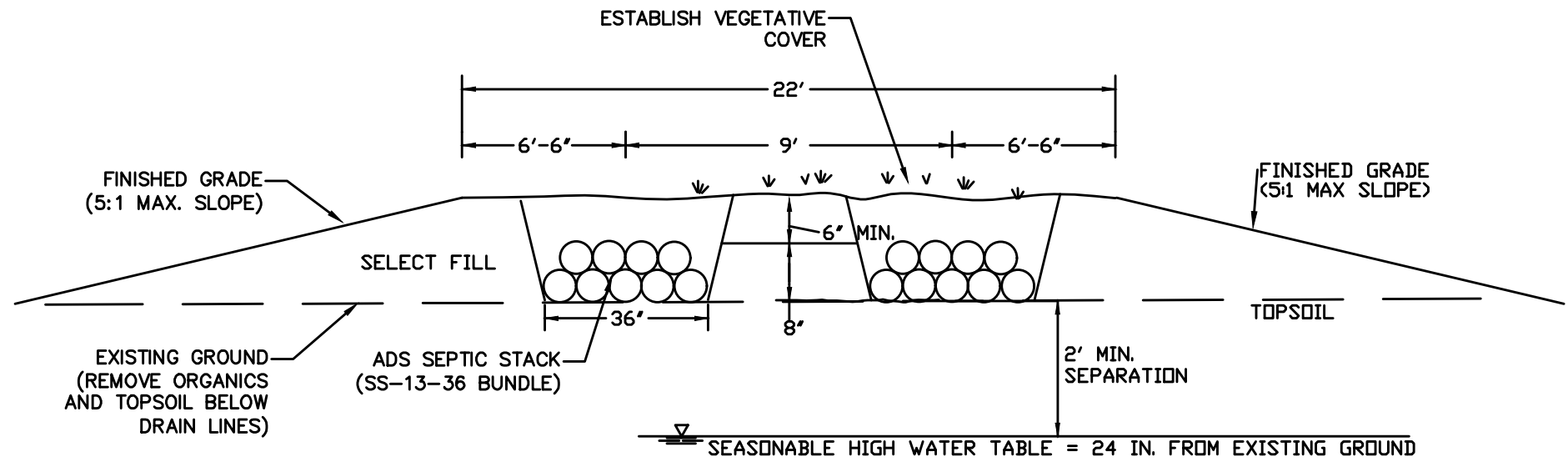
REQUIRED SF OF DRAIN FIELD: (GALLONS PER DAY / PERCOLATION COEFF.)
600 GPD / 0.913 GPD/SF = 657.17 SF
657.17 SF / 3 FT (TRENCH BOTTOM WIDTH) = 219 LF OF CONVENTIONAL DRAIN FIELD

REDUCTION FOR USING (ADS SEPTIC STACK SS-13-36) = 33%
TOTAL REQUIRED LINEAR FEET OF SYSTEM AFTER REDUCTION = 147 LF
TOTAL PROVIDED LINEAR FEET OF SYSTEM = 148 LF



I CERTIFY THIS ON-SITE SEWAGE MANAGEMENT SYSTEM MEETS THE MINIMUM DESIGN REQUIREMENTS ESTABLISHED BY THE DEPARTMENT OF PUBLIC HEALTH. I HAVE MADE A SITE VISIT TO VERIFY THE SYSTEM CAN BE INSTALLED AS DESIGNED IN ACCORDANCE WITH THESE REGULATIONS.

SIGNATURE: *Eric B. Metzger*



DRAINFIELD SECTION DETAIL

NOT TO SCALE

LEVEL III SOIL INVESTIGATION RESULTS								
SOIL SERIES	SLOPE % (RANGE)	DEPTH TO SEASONAL HIGH WATER TABLE (INCHES)	ABSORPTION RATE AT RECOMMENDED TRENCH DEPTH (MIN/IN)	RECOMMENDED TRENCH DEPTH (INCHES)	SUITABILITY CODE	RECOMMENDED HEIGHT OF MOUND BASED ON TRENCH DEPTH OF		DEPTH OF TOPSOIL (INCHES)
						18 INCHES	24 INCHES	
STILSON	0	36	30	12	C	6	12	8
SEAGATE	0	24	30	0	C	18	24	4 - 8

* SEE SOIL SURVEY PROVIDED BY DONNIE BRADSHAW

REVISION DESCRIPTION

BY

DATE

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SEPTIC SYSTEM PLAN

MORGAN ROAD INDUSTRIAL TRACT

1622 DEAN FOREST ROAD

GARDEN CITY, GEORGIA

Prepared for:

INDUSTRIAL ELECTRO MECHANICS

PROJECT NO.:

22-0039

DRAWN BY:

CFM

DESIGNED BY:

ABM

SURVEYED BY:

EMC

SURVEY DATE:

06/30/2022

CHECKED BY:

ABM

SCALE:

1" = 20'

DATE:

FEB., 2023

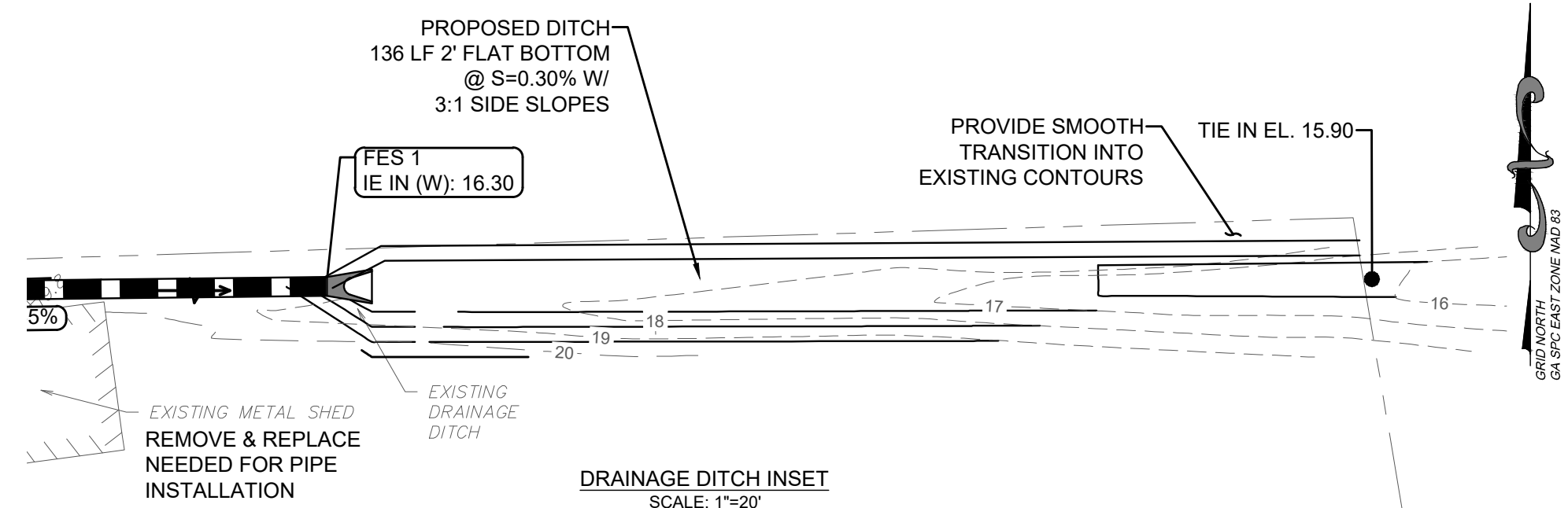
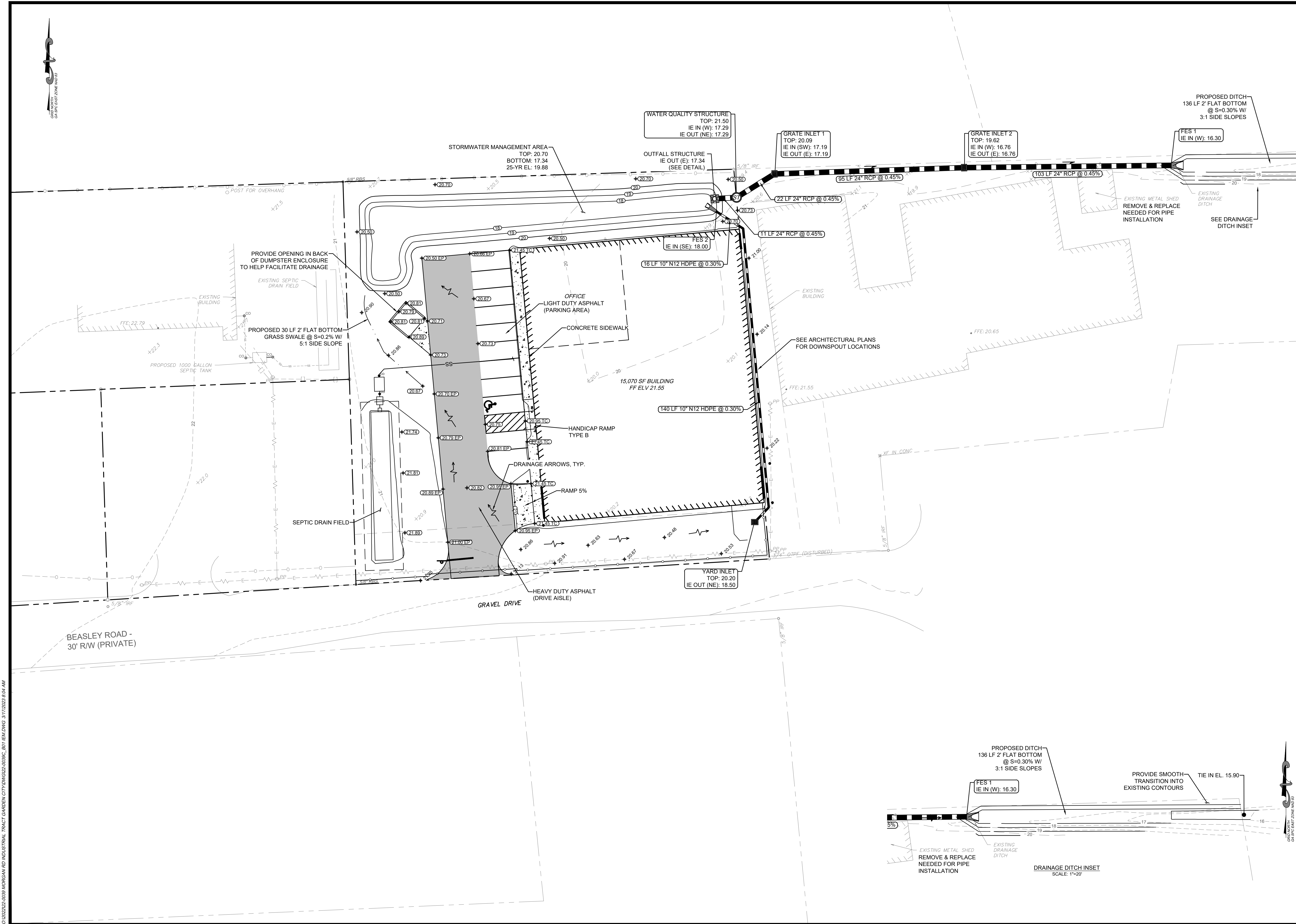
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0:12/22/22-0039 MORGAN RD INDUSTRIAL TRACT GARDEN CITY DINGLEDGE-0039C_B01 IELDING 3/17/2023 8:04 AM



REVISION DESCRIPTION		BY	DATE
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GRAPHIC SCALE: 1" = 20'

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CIVIL MARINE ENVIRONMENTAL

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PAVING, GRADING & DRAINAGE PLAN

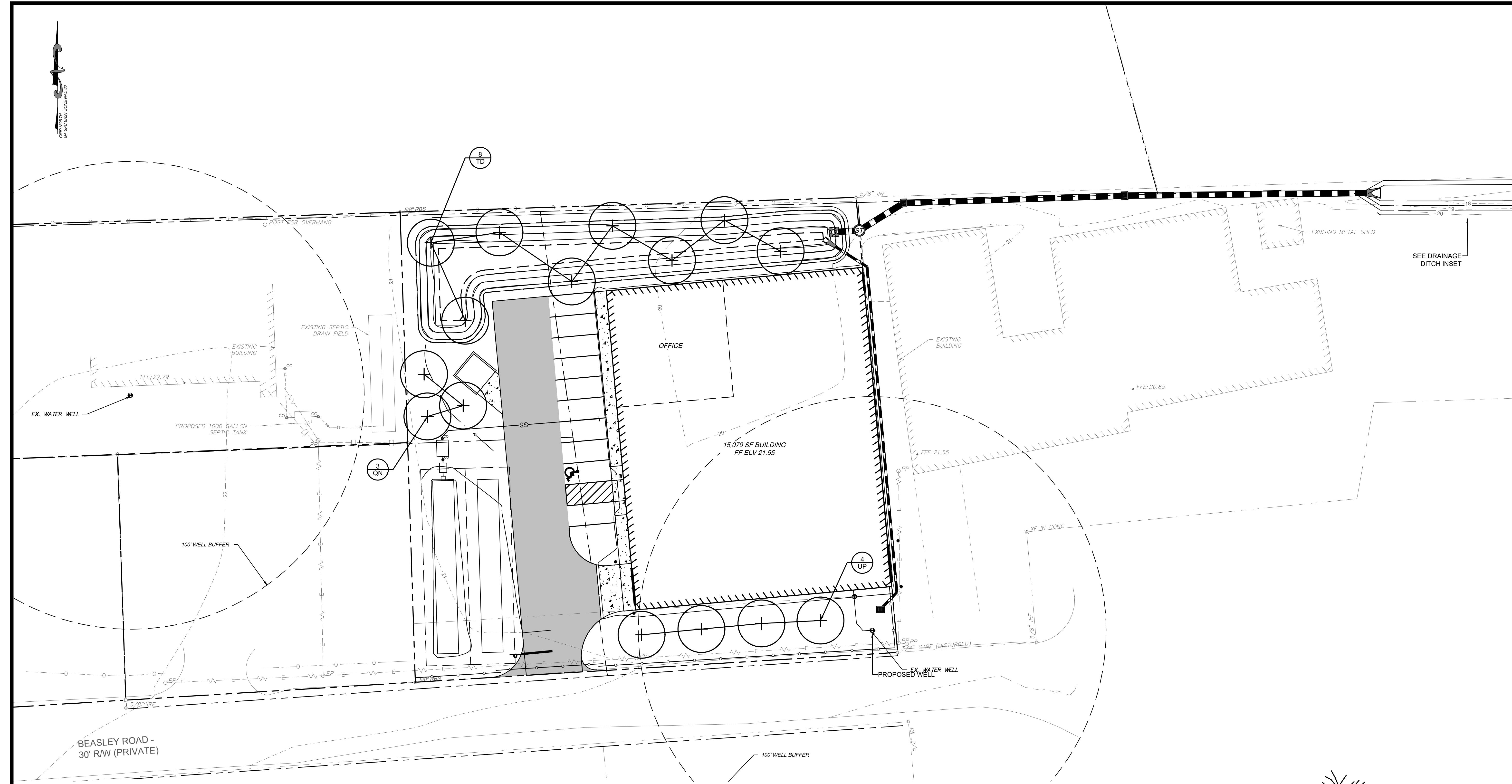
MORGAN ROAD INDUSTRIAL TRACT
1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA

Prepared for:
INDUSTRIAL ELECTRO MECHANICS

PROJECT NO.: 22-0039
DRAWN BY: CFM
DESIGNED BY: ABM
SURVEYED BY: EMC
SURVEY DATE: 06/30/2022
CHECKED BY: ABM
SCALE: 1" = 20'
DATE: FEB., 2023

SHEET
6
OF 11

0:02/2022-03/09 MORGAN RD INDUSTRIAL TRACT GARDEN CITY/INGL22-0039C_B01 TENDING 3/17/2023 8:04 AM



LANDSCAPE NOTES:

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, OR LANDSCAPING SHALL BE GRASSED BY BERMUDA SOD/SEED. OWNER WILL DETERMINE EXTENT OF SODDING VS. SEEDING. THE CONTRACTOR WILL UTILIZE EXISTING GRASS WHENEVER POSSIBLE.
- ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF PINE STRAW.
- NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
- SEE DETAILS ON CONSTRUCTION DETAIL SHEET FOR SHRUB AND TREE INSTALLATION.
- TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT.
- AN UNDERGROUND IRRIGATION SYSTEM, IF INSTALLED, SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGULATIONS OF THE COUNTY AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFF.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.

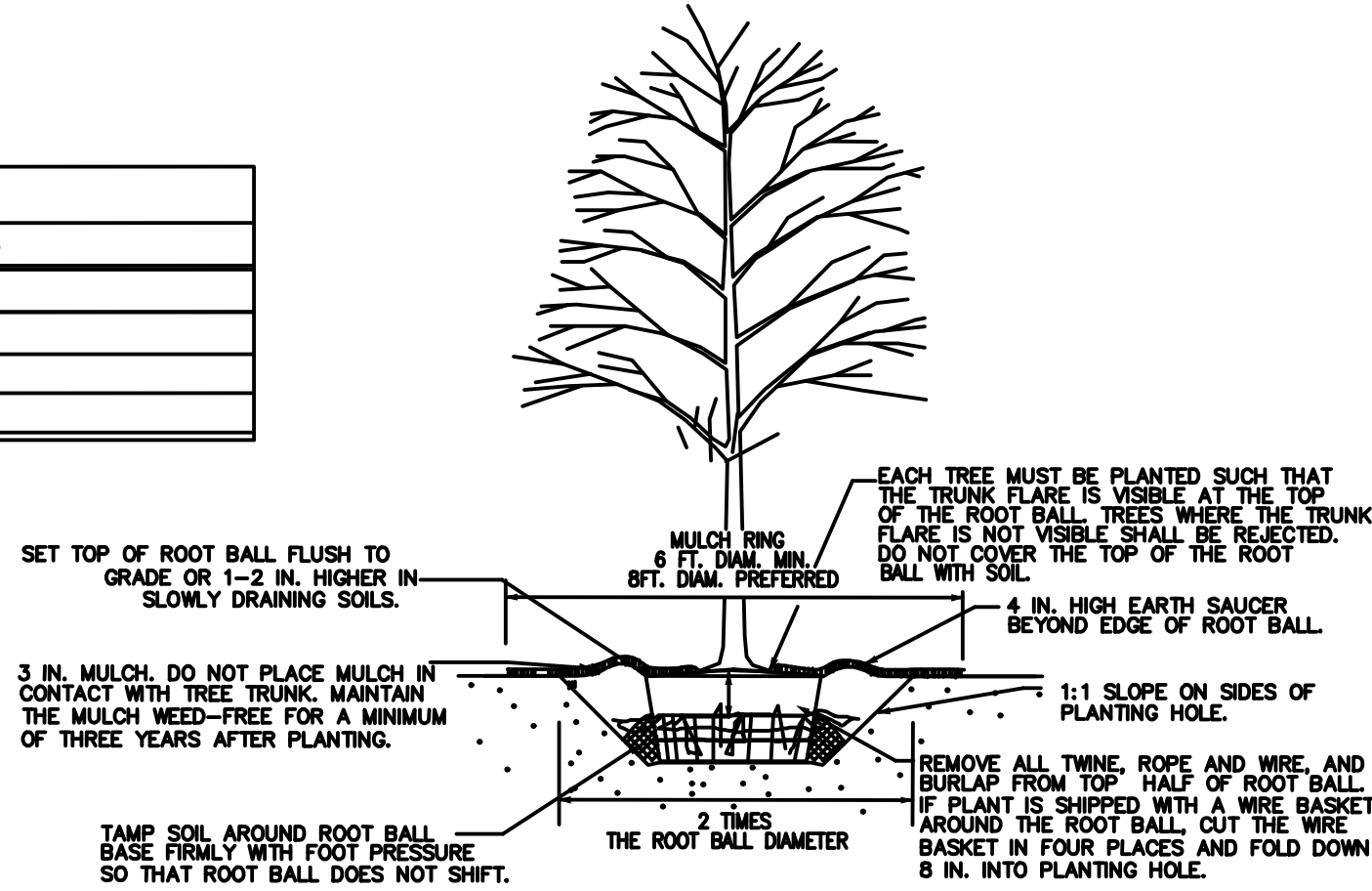
GARDEN CITY LANDSCAPE NOTES:

- CONTACT THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY PRIOR TO ANY LAND DISTURBANCE.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT FOR AN INSPECTION BY THE CITY.
- NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
- ALL LANDSCAPE MATERIAL INSTALLATION SHALL CONFORM TO THE CURRENT STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) AND ARE SUBJECT TO APPROVAL BY THE CITY.

LANDSCAPE CALCULATIONS	
TREE DENSITY UNITS REQUIRED 16 UNITS PER AC x 0.91 AC =	15
EX. TREE DENSITY UNITS =	0
PR. TREE DENSITY UNITS =	15
TREE DENSITY UNITS PROVIDED	15

PLANT SCHEDULE						
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
TREES	QN	QUERCUS NUTTALLII	3	2.5"-3" CAL	AS SHOWN	-
	TD	TAXODIUM DISTICHUM	8	2" CAL 8'-10' HT	AS SHOWN	-
	UP	ULMUS PARVIFOLIA 'ALLEE' / 'BOSQUE'	4	2.5"-3" CAL	AS SHOWN	-

LANDSCAPING LEGEND	
	PROPOSED LARGE TREE
	PROPOSED SMALL TREE
	PROPOSED SHRUB
	PROPOSED PLANT QUANTITIES
	PROPOSED GROUND COVERS
	PROPOSED PLANT TYPE DIVISIONS



- NOTES**
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).

TREE PLANTING
NOT TO SCALE

NO.	REVISION DESCRIPTION	BY	DATE

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LANDSCAPE PLAN

MORGAN ROAD INDUSTRIAL TRACT
1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA

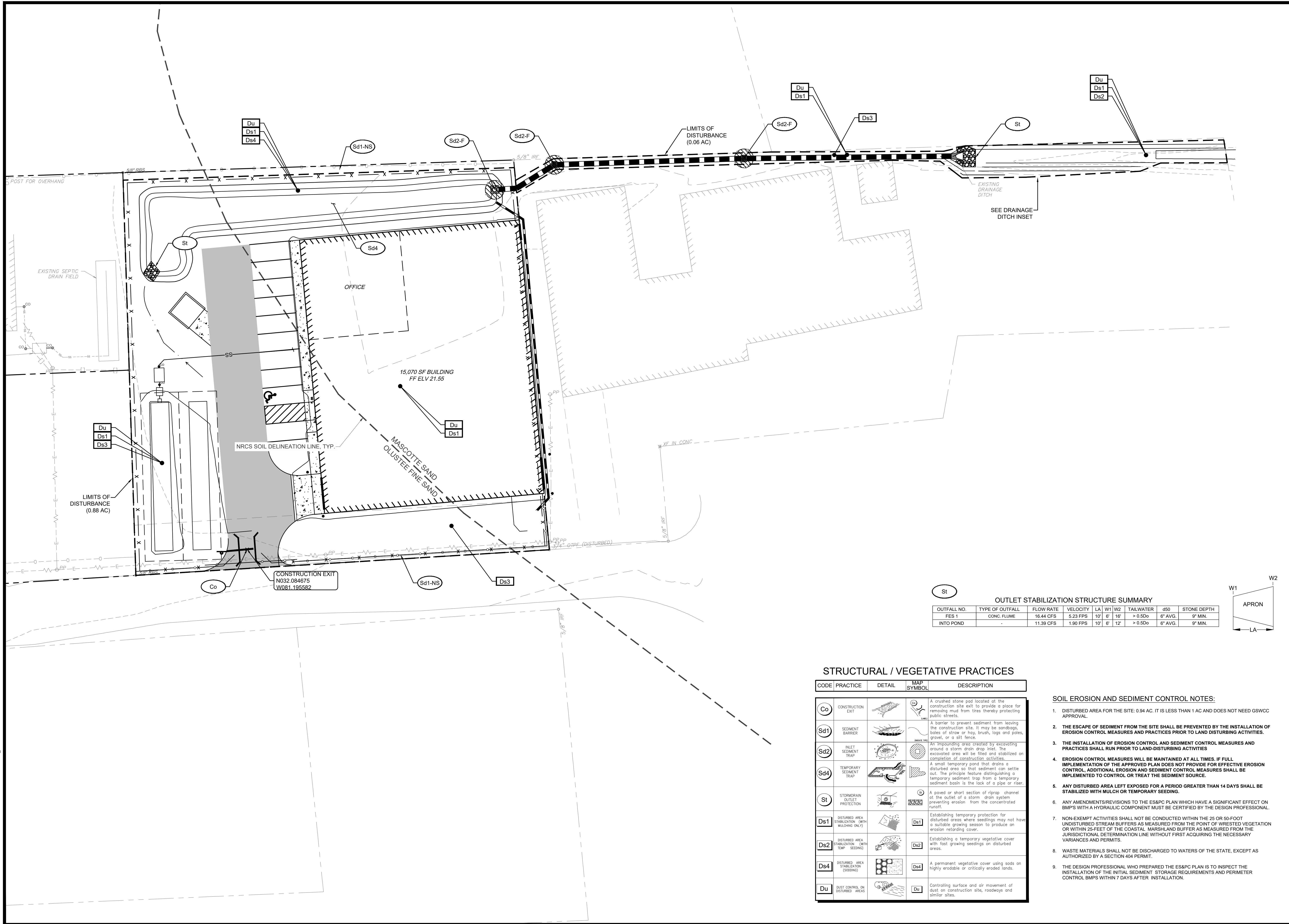
Prepared for:
INDUSTRIAL ELECTRO MECHANICS

PROJECT NO.: 22-0039
DRAWN BY: CFM
DESIGNED BY: ABM
SURVEYED BY: EMC
SURVEY DATE: 06/30/2022
CHECKED BY: ABM
SCALE: 1" = 20'
DATE: FEB., 2023

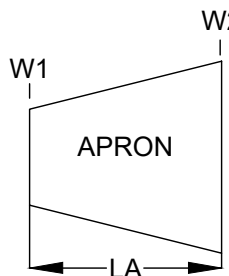
SHEET 7

OF 11

012022-0039 MORGAN RD INDUSTRIAL TRACT GARDEN CITY/INGLS-0039C_B01 REVISION 3/17/2023 8:04 AM



OUTLET STABILIZATION STRUCTURE SUMMARY									
OUTFALL NO.	TYPE OF OUTFALL	FLOW RATE	VELOCITY	LA	W1	W2	TAILWATER	d50	STONE DEPTH
FES 1	CONC. FLUME	16.44 CFS	5.23 FPS	10'	6'	16'	> 0.5D ₅₀	6" AVG.	9" MIN.
INTO POND	-	11.39 CFS	1.90 FPS	10'	6'	12'	> 0.5D ₅₀	6" AVG.	9" MIN.



STRUCTURAL / VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP. SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SOONER)			A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- DISTURBED AREA FOR THE SITE: 0.94 AC. IT IS LESS THAN 1 AC AND DOES NOT NEED GSWCC APPROVAL.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL RUN PRIOR TO LAND-DISTURBING ACTIVITIES
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN

MORGAN ROAD INDUSTRIAL TRACT

1622 DEAN FOREST ROAD
GARDEN CITY, GEORGIA

Prepared for:

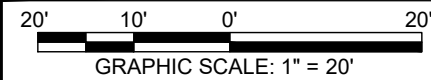
INDUSTRIAL ELECTRO MECHANICS

NO.	REVISION DESCRIPTION	BY	DATE

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

Alec B Metzger
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER: 0000008757
ISSUED: 4/11/2021 EXPIRES: 4/11/2024



EMC ENGINEERING SERVICES, INC.

27 Chatham Center South, Suite A
Savannah, GA 31405
PH: (912) 233-5580
savannah@emc-eng.com
www.emc-eng.com

CIVIL
MARINE
ENVIRONMENTAL

OFFICE LOCATIONS: ALBANY, ATLANTA, AUGUSTA, BRUNSWICK, COLUMBUS, SAVANNAH, STATESBORO, GREENVILLE, SC.

PROJECT NO.:	22-0039
DRAWN BY:	CFM
DESIGNED BY:	ABM
SURVEYED BY:	EMC
SURVEY DATE:	06/30/2022
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	FEB., 2023

SHEET

8

OF

11

INLAND BUILDINGS

2141 SECOND AVENUE S.W.
CULLMAN, ALABAMA 35055
PHONE: 800-438-1606
FAX: 800-438-1626
www.inlandbuildings.com

BUILDING DESCRIPTION

BUILDING SIZE: 110.00' x 138.00' x 30.00' SLOPE: 1.0:12
 BUILDING SIZE: SLOPE:
 BUILDING SIZE: SLOPE:
 BUILDING SIZE: SLOPE:
 (BUILDING DIMENSIONS ARE NOMINAL, REFER TO PLANS)

This is to certify that this structure is designed utilizing the loads indicated and applied as required by the building code shown below. The certification is limited to the structural design of the framing and covering parts manufactured by the building manufacturer and is specified in the contract. Accessory items such as doors, window, louvers, translucent panels, and ventilators are not included. Also excluded are other parts of the project not provided by the building manufacturer such as foundations, masonry walls, mechanical equipment and erection of the building. The building should be erected on a properly designed foundation in accordance with the building manufacturer's design manual, the attached drawings and good erection practices.

Design Code IBC 18

General Loads

Roof Dead Load (D)	<u>2.500</u>	psf
Roof Collateral Load (C)	<u>3</u>	psf
Roof Live Load (Lr)	<u>20.00</u>	psf
Tributary Live Load Reduction	<u>Yes</u>	

Snow Load

Flat-Roof Snow Load (Pf)	0.0000	psf
Ground Snow Load (Pg)	0.0000	psf
Snow Exposure Factor (Ce)	1	
Snow Load Importance Factor (Is)	1.0000	
Thermal Factor (Ct)	1.00	

Wind Load

Wind Speed (V 3S)	133.0000	
Wind Speed (Vult & Vasd)	N/A	mph N/A mph
Occupancy / Risk Category	I - Normal	
Wind Exposure Category	C	
Internal Pressure Coefficient (GCpi)	+/- 0.18	
Wind Enclosure	Closed	
Wind Importance Factor	1.0000	

☐ DN1
☐ DN2
☐ DN3
☐ DN4
☐ DN5
☐ DN6
☐ DN7
☐ DN8
☐ DN9

Seismic Load

Seismic Importance Factor (Ie)	<u>1.00</u>	
Spectral Response Accelerations (Ss and S1)	<u>0.3012</u>	<u>0.1110</u>
Site Class	<u>D</u>	
Spectral Response Coefficients (Sds and Sd1)	<u>0.3129</u>	<u>0.1760</u>
Seismic Design Category	<u>C</u>	
Basic Seismic-Force-Resisting System(s) *		

	Longitudinal	Lateral
Total Design Base Shear (V)	13.48 Kips	43.06 Kips
Seismic Response Coefficient(s) (Cs)	0.1043	0.1043
Response Modification Factor(s) (R)	3.0000	3.0000
Analysis Procedure: Equivalent Lateral Force		

* Ordinary Steel Concentrically Braced Frame(s) and/or Ordinary Steel Moment Frame(s)

PANEL, TRIM AND FRAMING INFORMATION

ROOF PANELS

TYPE: TS-324 GAUGE: 24 COLOR: Galvalume
UL90 CERTIFICATION: No
INSULATION: 4 In.
MASTIC: Wide
IF STANDING SEAM: CLIP TYPE: High Float

WALL PANELS

TYPE: PBR GAUGE: 26 COLOR: Need Std. Color
INSULATION: 6 in.

LINER PANELS

TYPE: _____ GAUGE: _____ COLOR: _____
HEIGHT: FULL _____

FASCIA PANELS

TYPE: _____ GAUGE: _____ COLOR: _____

SOFFIT PANELS

TYPE: _____ GAUGE: _____ COLOR: _____

PARTITION PANELS

TYPE: _____ COLOR: _____

TRIM

RAKE:	COLOR:	<u>Need Std. Color</u>
EAVE:	COLOR:	<u>Need Std. Color</u>
GUTTER:	COLOR:	<u>Need Std. Color</u>
DOWNSPOUT:	COLOR:	<u>Need Std. Color</u>
VALLEY GUTTER:	COLOR:	<u>Need Std. Color</u>
HEADER:	COLOR:	<u>Need Std. Color</u>
SILL:	COLOR:	<u>Need Std. Color</u>
JAMB:	COLOR:	<u>Need Std. Color</u>
BASE TRIM:	COLOR:	<u>Need Std. Color</u>
CORNER:	COLOR:	<u>Need Std. Color</u>
LINER:	COLOR:	<u> </u>
SOFFIT:	COLOR:	<u> </u>
FASCIA SILL:	COLOR:	<u> </u>
CAP TRIM:	COLOR:	<u> </u>

PRIMARY FRAMING

(MAIN FRAMES & ENDWALL FRAMES) Red-Oxide
(WIND COLUMNS & BENTS)

SECONDARY FRAMING

(GIRTS, EAVE STRUTS, PURLINS
DOOR/FRAMED OPNG. & CLIPS ETC.) Red-Oxide

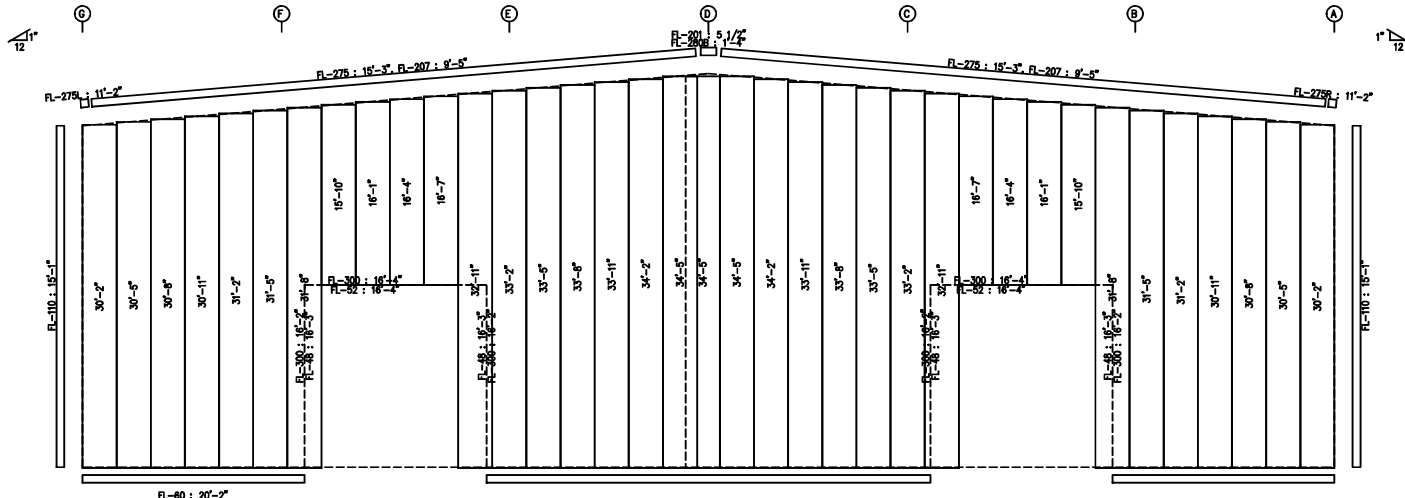
DRAWING INDEX

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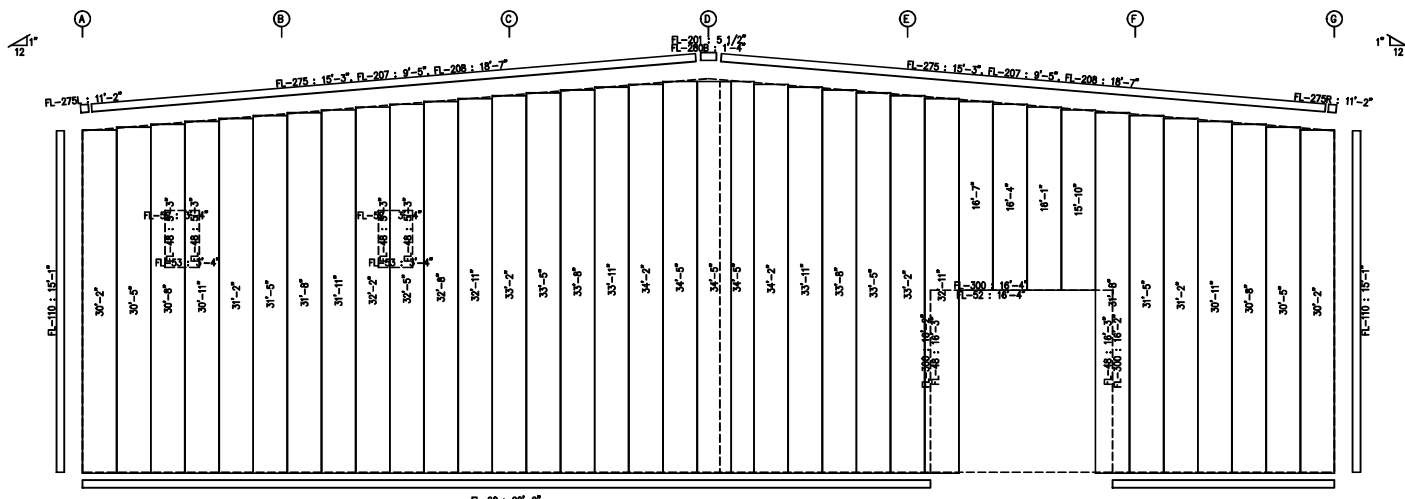
Registration # F-12852

IAS Certification Accredited
Certification # MB-205

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.






ENDWALL SHEETING & TRIM: FRAME LINE 1
PANELS: 28 Ga. PBR - Need Std. Color



ENDWALL SHEETING & TRIM: FRAME LINE 7
PANELS: 28 Ga. PBR - Need Std. Color

DSN.	APR.	APR.	DATE

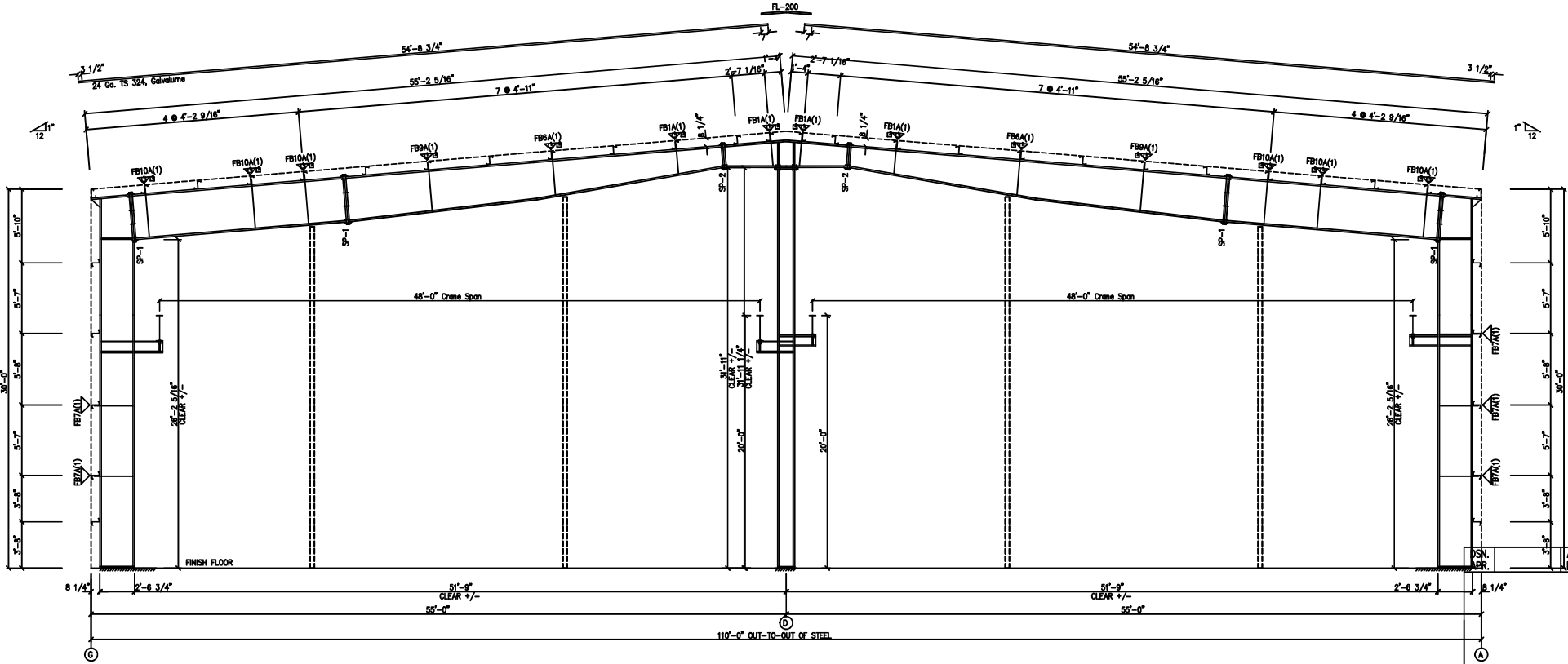
GENERAL NOTES:
TRIM IS FIGURED WITH 2" TRIM LAP UNLESS NOTED ON A DETAIL.
FIELD CUT PANELS AT FRAMED OPENINGS, WALKDOORS, AND WINDOWS.
FORMED BASE TRIM (IF USED) TO BE FIELD MITERED AT CORNERS.
BEVEL CUT ENDWALL PANELS AS REQUIRED.
FIELD SLOT GUTS AS REQUIRED FOR CABLE BRACE CLEARANCE.

DRAWING STATUS				REVISIONS				INLAND BUILDINGS			
<input type="checkbox"/> FOR APPROVAL:	NO.	DATE	DESCRIPTION	BY	CHKD			2141 SECOND AVENUE S.W. CULLMAN, AL 35005 PHONE: 800.435.1608 FAX: 800.435.1628 www.inlandbuildings.com		DESCRIPTION: ENDWALL SHEETING DATE: 7/20/22 JOB: MARCHESI CRANE JOB: TBD LOCATION: SAVANNAH, GA 31408	
THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	7/20/22	PRELIMINARY									
<input type="checkbox"/> FOR PERMIT:								2141 SECOND AVENUE S.W. CULLMAN, AL 35005 PHONE: 800.435.1608 FAX: 800.435.1628 www.inlandbuildings.com		SIZE: REFER TO C1 CUSTOMER: ARC INDUSTRIES LLC ADDRESS: 524 ORVILLE KNIGHT RD CURRENCY: GA 31563	
THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.											
<input type="checkbox"/> FOR CONSTRUCTION:								2141 SECOND AVENUE S.W. CULLMAN, AL 35005 PHONE: 800.435.1608 FAX: 800.435.1628 www.inlandbuildings.com		JOB: MARCHESI CRANE JOB: TBD LOCATION: SAVANNAH, GA 31408	
FINAL DRAWINGS.											
										SHEET NO. E9 of 9	

SPICE PLATE & BOLT TABLE											CAP PLATE BOLTS				
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length	Mark	Qty	Type	Dia	Length
SP-1	4	4	4	4	A325	5/8"	1 3/4"	6"	3/8"	3'-10 3/4"		8	A325	5/8"	2"
SP-2	4	4	0	0	A325	5/8"	1 3/4"	6"	3/8"	2'-0 3/4"					

CONNECTION PLATES		
1	Mark/Part	
2	CL-SS	

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



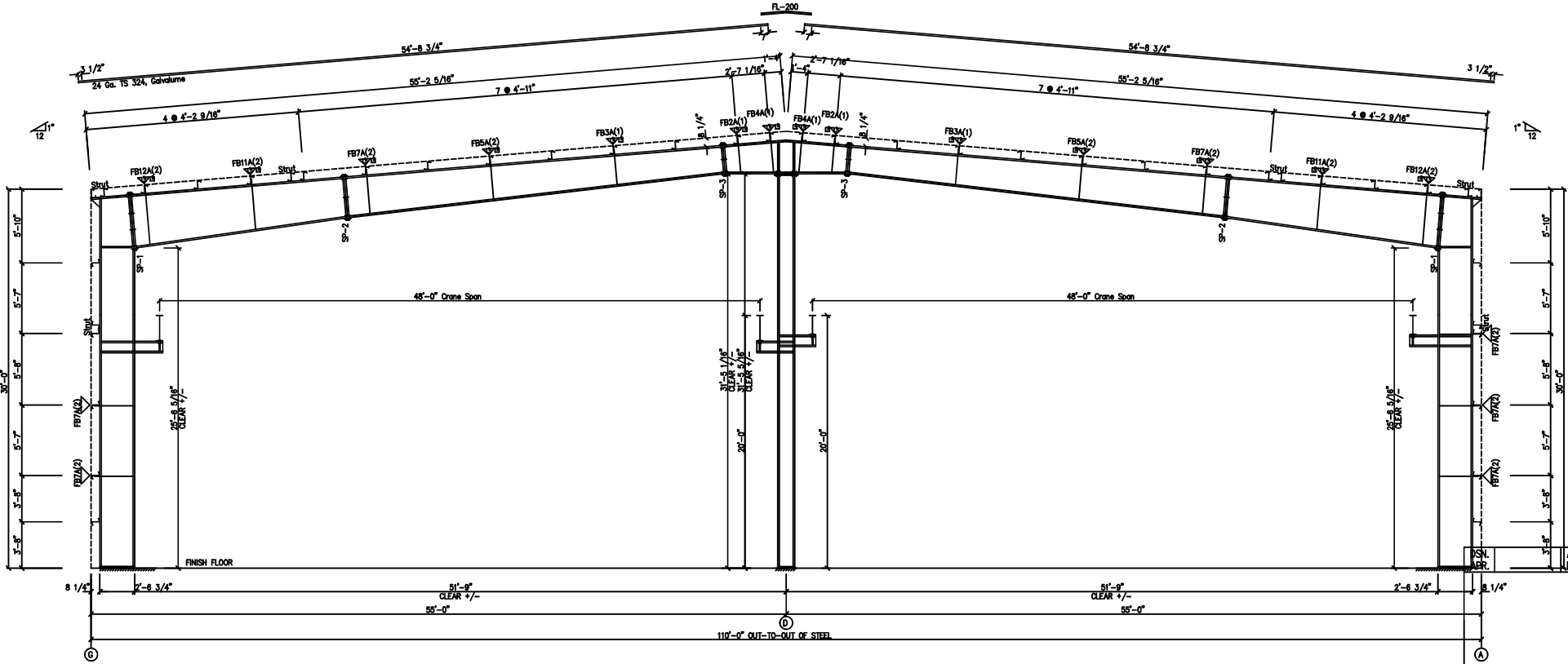
RIGID FRAME ELEVATION: FRAME LINE 1 7

DRAWING STATUS		REVISIONS		INLAND BUILDINGS	
<input type="checkbox"/> FOR APPROVAL	NO.	DATE	DESCRIPTION	BY	CHKD
<input type="checkbox"/> THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	7/20/22	PRELIMINARY			
<input type="checkbox"/> FOR PERMIT					
<input type="checkbox"/> THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL IN THAT, AS A MINIMUM, PIECE MARKINGS ARE NOT IDENTIFIED. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.					
<input type="checkbox"/> FOR CONSTRUCTION					
<input type="checkbox"/> FINAL DRAWINGS					
DESCRIPTION CROSS SECTION				SIZE REFER TO C1	
OWNER MARCHESSE CRANE				CUSTOMER ARC INDUSTRIES LLC	
JOB SITE TBD				ADDRESS 524 ORVILLE KNIGHT RD	
LOCATION SAVANNAH, GA 31408				SURREY, GA 31563	
CD BY	DRN BY	DATE	SCALE	2ND NO.	TH
		7/20/22	N.T.S.		
				SHEET NO. E4 of 9	

SPICE PLATE & BOLT TABLE											CAP PLATE BOLTS				
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length	Mark	Qty	Type	Dia	Length
SP-1	4	4	4	4	A325	5/8"	1 3/4"	6"	3/8"	4'-6 3/4"		8	A325	3/4"	2"
SP-2	4	4	4	2	A325	5/8"	1 3/4"	6"	3/8"	3'-6 3/4"					
SP-3	4	4	4	2	A325	5/8"	1 3/4"	6"	3/8"	2'-6 3/4"					

CONNECTION PLATES		
Mark	Qty	Part
1	1	CL-46
2	1	CL-55

PRELIMINARY DRAWING USE ONLY FOR REFERENCE.



RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6

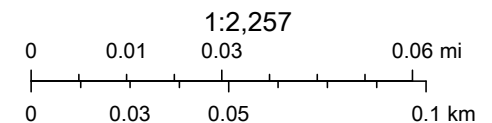
DRAWING STATUS		REVISIONS		BY		DATE		DESCRIPTION		DATE		DESCRIPTION		DATE		DESCRIPTION	
<input type="checkbox"/>	FOR APPROVAL	<input type="checkbox"/>	7/20/22	PRELIMINARY													
<input type="checkbox"/>	FOR CONSTRUCTION	<input type="checkbox"/>															
<input type="checkbox"/>	FINAL DRAWINGS	<input type="checkbox"/>															

INLAND BUILDINGS		2141 SECOND AVENUE S.W. CULLMAN, AL 35005		PHONE: 800.435.1608		FAX: 800.435.1608		www.inlandbuildings.com	
DESCRIPTION CROSS SECTION		SIZE		REFER TO C1		CUSTOMER		ARC INDUSTRIES LLC	
JOB SITE		TBD		ADDRESS		524 ORVILLE KNIGHT RD		SURREY, GA 31563	
JOB NO.		7/20/22		DATE		E5 of 9		SHEET NO.	



[illegible]

Municipal Boundary		POOLER		THUNDERBOLT	UNINCORPORATED
	BLOOMINGDALE		PORT WENTWORTH		TYBEE ISLAND
	GARDEN CITY		SAVANNAH		VERNONBURG
					Zoning
					Owner, PIN and Address Labels



SAGIS

SAGIS
SAGIS |

City of Garden Site Plan Application



GARDEN CITY

Development Information

Development Name		
1620 DEAN FOREST ROAD BUILDING ADDITION		
Property Address		
1620 DEAN FOREST ROAD		
GARDEN CITY, GA		
Phased development?	If yes, indicate proposed number of phases:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60988A 02009	1.051	P-I-2
Project Description		
ADDITION OF A 5,661 SF METAL BUILDING ONTO AN EXISTING		
12,221 SF METAL BUILDING AND ASSOCIATED ACCESS IMPROVEMENTS.		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private		<input type="checkbox"/> Public <input checked="" type="checkbox"/> Private

Applicant Information

Owner	
Name	Address
RYAN HUGHES	P.O. BOX 5982
Phone	Email
(912)662-2750	ryan@corecd.com
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input checked="" type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Coastal Civil Engineering	Tom Havens
Phone	Email
(912) 232-9402	tomhavens@coastalcivil.com
Authorized Agent (Requires Authorized Agent Form) <input checked="" type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
COASTAL CML ENGINEERING	Tom Havens
Phone	Email
912-662-2399	TomHavens@CoastalCivil.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Tom Havens
 Print Name _____ Signature _____ Date 3/24/23

OFFICE USE ONLY			
Received By	Date Received	Case Number	
Submittal Format	Fee Amount Paid	Invoice Number	
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both			

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: May 3, 2023
Re: PC 2320 – 1620 Dean Forest Road

Application Type	General Development Plan
Case Number	PC 2320
Applicant	Tom Havens
Name of Project	1620 Dean Forest Road Building Addition
Property Address	1620 Dean Forest Road
Parcel IDs	60988A 02009
Area of Property	1.05 acres
Current Zoning	P-I-2
Proposed Land Use	Mechanical repair shop

GENERAL INFORMATION

Project Description: The applicant is proposing the addition of 5,661 square feet to an existing 12,221 square foot building. The expansion will provide additional workspace for an existing tenant who provides motor repair services.

Pursuant to Section 90-43, Designation of P districts, a general development plan must be submitted for review and approval by the Planning Commission prior to development of the site. The general plan for a proposed P district shall include proposed uses and overall development standards and shall promote an environment of stable and desirable character in harmony with the established or proposed land use pattern in surrounding areas.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- Proposed uses and overall development plan*
The proposed use is an expansion of an existing use, permitted in I-2. The building addition will provide for additional workspace and storage. A small detention area is located to the rear of the building.

2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
The proposed addition is located at the back of the existing structure and will match the existing building.
3. *Fences, landscaping, and buffers.*
The applicant is providing additional landscaping along Dean Forest Road to screen the parking area.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
Access is provided via Morgan Road. A roll-up door is proposed on the addition so trucks can directly access the new workspace area.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
No additional signage is proposed. Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

The applicant has provided the required information.

RECOMMENDATION

Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

ADDITION OF A 5,661 SF METAL BUILDING ONTO AN EXISTING
12,221 SF METAL BUILDING AND ASSOCIATED ACCESS
IMPROVEMENTS.

TOTAL AREA OF PROPERTY = 1.051 ACRES
TOTAL DEVELOPMENT AREA = 0.32 ACRES

ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0129G
REVISED AUGUST 16,2018, THIS PROPERTY LIES IN ZONE X, NOT
A 100 YEAR FLOOD ZONE.

PER GARDEN CITY ORDINANCE, WAREHOUSE USE REQUIRES ONE SPACE PER TWO EMPLOYEES.

EXISTING WAREHOUSE CURRENTLY HAS 2 EMPLOYEES, AND WILL ADD 2 EMPLOYEES AS A RESULT OF ADDED WORKSPACE FOR A TOTAL OF 4 EMPLOYEES.

REQUIRED PARKING=4/2 SPACES
PROVIDED EXISTING PARKING = 9 SPACES

9 > 2 = OK

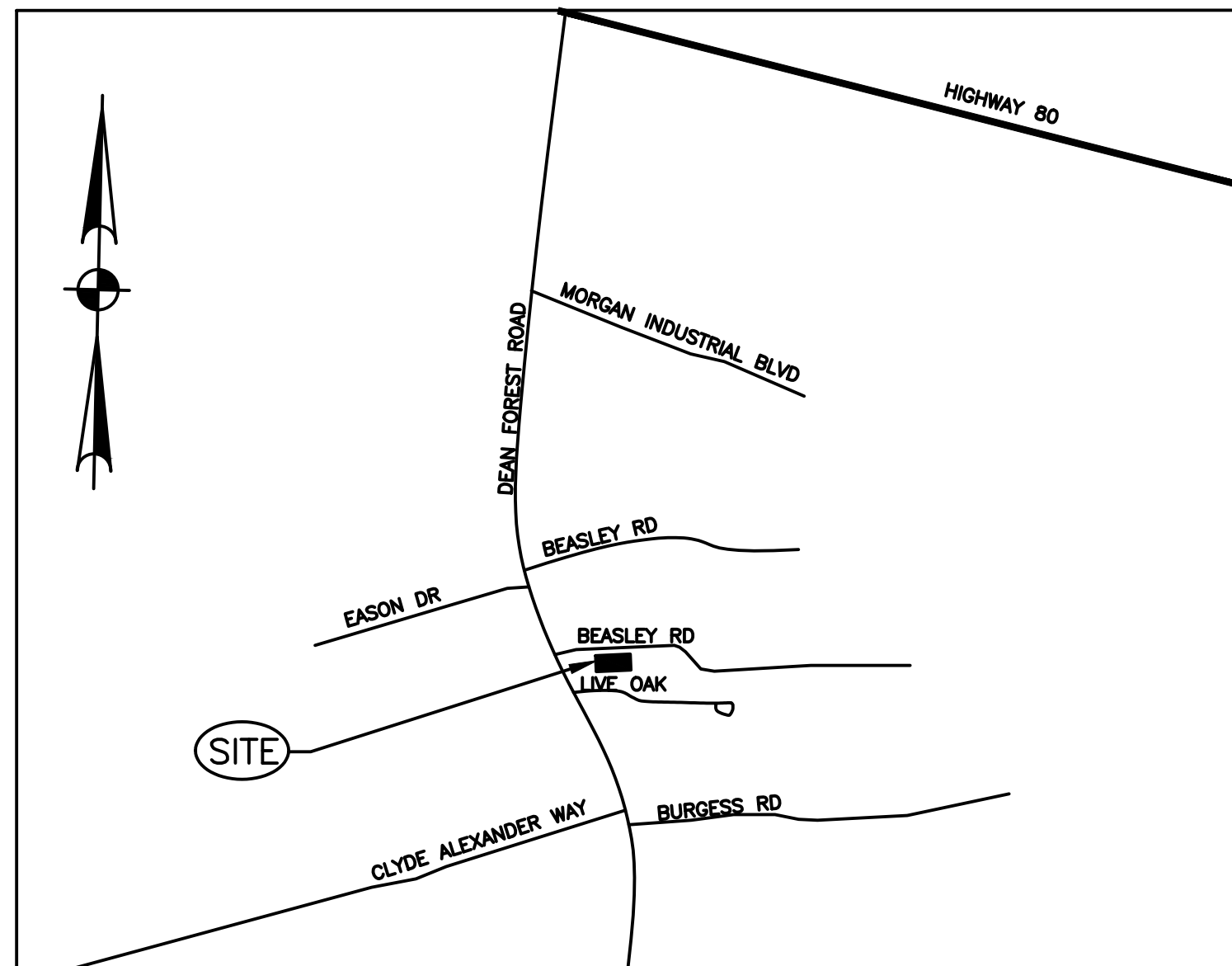
AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AGGR	AGGREGATE	MH	MANHOLE
ALT	ALTERNATE	MON	MONUMENT
&	AND	MW	MONITORING WELL
APPROX	APPROXIMATE		
		N	NORTH
	AT	(N)	NORTH
		NO., #	NUMBER
		NTS	NOT TO SCALE
BC	BACK OF CURB		
BCR	BEGIN CURB RETURN		
BGS	BELOW GRADE SURFACE	OC	ON CENTER
BVC	BEGIN VERTICAL CURVE	OH	OVER HEAD
BVCE	BEGIN VERTICAL CURVE ELEVATION	OHE	OVER HEAD ELECTRICAL
BSW	BACK OF SIDEWALK	OHT	OVER HEAD TELEPHONE
BW	TOP OF BOARDWALK DECK	OHU	OVER HEAD UTILITY
CB	CATCH BASIN	ORN	ORNAMENTAL
C&G	CURB AND GUTTER		
CL	CLASS	PAV	PAVING
C	CENTERLINE	PCC	PORTLAND CEMENT CONCRETE
CO	CLEANOUT	PED	PEDESTRIAN
CONC	CONCRETE	PI	POINT OF INTERSECTION
CLR, CL	CLEARANCE	R	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CP	CONTROL POINT	PROP	PROPERTY
CULV	CULVERT	PRC	POINT OF REVERSE CURVE
		PRVC	POINT OF REVERSE VERTICAL CURVE
DBC	DEPRESSED BACK OF CURB	PT	POINT
DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
D/W, DW, DWY	DRIVEWAY		
		R	RADIUS
EA	EACH	RC	RELATIVE COMPACTION
E, ELEC	ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	REINF	REINFORCED
ECR	END CURB RETURN	REQ	REQUIRED, REQUIREMENT
EG	EXISTING GROUND	RSP	ROCK SLOPE PROTECTION
EL, ELEV	ELEVATION	RT	RIGHT
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EXIST	EXISTING		
(E)	EAST	S	SLOPE OR SOUTH
EVC	END VERTICAL CURVE	(S)	SOUTH
EYCE	END VERTICAL CURVE ELEVATION	SCHED	SCHEDULE
		SD	STORM DRAIN
FF	FINISHED FLOOR	SECT	SECTION
FG	FINISHED GRADE	SHT	SHEET
FH	FIRE HYDRANT	SL	STREET LIGHT
FL	FLOW LINE	SPEC	SPECIFICATIONS
FT	FEET	SS	SANITARY SEWER
		SDMH	STORM DRAIN MANHOLE
G	GAS	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	STA	STATION
GND	GROUND	STD	STANDARD
GRAV	GRAVEL	ST	STREET
GV	GATE VALVE	S/W	SIDEWALK
H, HORIZ	HORIZONTAL	T	TELEPHONE
		TB	TOP OF BANK
IC	INTERCONNECT	TBM	TEMPORARY BENCH MARK
ID	INSIDE DIAMETER	TD	TOP OF DECK (BOARDWALK)
IG	INVERT GRADE	TEL	TELEPHONE
IN	INCH	TG	TOP OF GRATE
INV	INVERT	TL	TRAFFIC LIGHT
		TP	TOP OF PAVEMENT
JP	JOINT POLE	TS	TOP OF SIDEWALK
JT	JOINT	TYP	TYPICAL
JUNCT	JUNCTION	TV	TELEVISION
LF	LINEAR FEET	UG	UNDERGROUND
L/G	LIP OF GUTTER		
LT	LEFT	VC	VERTICAL CURVE
		VG	VALLEY GUTTER
		W/	WITH
		W/O	WITH OUT
		W	WATER

ARCHITECT	DEVELOPER/OWNER
OWEN NILES ON ARCHITECTURE 224 OVERLOOK DRIVE DALLAS, GA 30157 (404)409-5427 ONILES@ONARCHITECTUREATL.COM	RYAN HUGHES 1620 DEAN FOREST LLC P.O. BOX 5982 SAVANNAH, GA 31414 (912)662-2750 RYAN@CORECD.COM

SHEET C1	COVER SHEET
SHEET C2	EXISTING CONDITIONS
SHEET C3	CIVIL SITE LAYOUT
SHEET C4	GRADING AND DRAINAGE PLAN
SHEET C5	EROSION & SEDIMENT CONTROL PLAN
SHEET C6	MISCELLANEOUS DETAILS



CITY OF GARDEN CITY, GA



NO SCALE

1. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS.
2. THE CONTRACTOR SHALL INDEPENDENTLY REVIEW GROUND, TOPOGRAPHY, AND TREE CONDITIONS THROUGHOUT THE SITE, AND ASSUME WHOLELY AND UNCONDITIONALLY THE RISK OF COMPLETING THE WORK SET OUT IN THESE PLANS, REGARDLESS OF ROCK, WATER TABLE, OR OTHER CONDITIONS WHICH THE CONTRACTOR MAY ENCOUNTER IN THE COURSE OF THE WORK.
3. ANY DISCREPANCY DISCOVERED BY THE CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE OWNER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING.
4. NO GUARANTEE IS INTENDED THAT UNDERGROUND UTILITIES OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS MAY NOT BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNERS, THE ENGINEERS, AND THE ARCHITECT ASSUME NO RESPONSIBILITY FOR ANY EXISTING UTILITIES OR OBSTRUCTIONS, EITHER SHOWN OR NOT ON THESE PLANS.
5. THE CONTRACTOR SHALL NOT BEGIN EXCAVATION UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE WORKING DAYS PRIOR TO EXCAVATION (800) 282-7411.
6. ALL GRADING SHALL BE IN CONFORMANCE WITH APPLICABLE PROVISIONS OF THE UBC, THE PROJECT GEOTECHNICAL REPORT, AND CITY OF GARDEN CITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE SOILS ENGINEER.
7. ALL UNUSABLE MATERIAL, STUMPS, TREES, BOULDERS AND EXCESS SOIL SHALL BE REMOVED AND DISPOSED OF OFF THE PROJECT SITE UNLESS OTHERWISE PERMITTED BY THE OWNER. NO JETTING OR FLOODING OR BACKFILL SHALL BE PERMITTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING PAVED ROADS OF DIRT, MUD, AND DEBRIS. THIS SHALL BE HIS OBLIGATION UNTIL THE ROAD AND DEBRIS SHALL BE REMOVED DAILY. SHOULD THESE ITEMS CONSTITUTE A PUBLIC HAZARD OR NUISANCE, THEY SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PROMPTLY CLEAN STREETS WHEN REQUESTED BY THE DESIGNATED REPRESENTATIVE OF CITY OF GARDEN CITY.
10. GRADING EQUIPMENT SHALL BE ADEQUATELY MUFFLED TO REDUCE THE NOISE IMPACT ON ADJACENT PROPERTIES. EQUIPMENT SHALL NOT OPERATE ON THE SITE PRIOR TO 8 A.M. OR AFTER 5 P.M ON WEEKDAYS, AND SHALL NOT BE OPERATED ON WEEKENDS OR HOLIDAYS.
11. ANY MATERIALS, WORKMANSHIP, AND CONSTRUCTION WITHIN GARDEN CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY TECHNICAL SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
12. ALL WORK AND EQUIPMENT SHALL COMPLY WITH OSHA REQUIREMENTS.
13. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO BEGINNING ANY WORK IN ANY ROADWAY, RIGHT-OF-WAY, ETC. FROM GARDEN CITY.
14. CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORMWATER SYSTEM.
15. ALL TRENCH BEDDING AND BACKFILL SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND DETAILS ON DRAWINGS.
16. DUST CONTROL MEASURES SHALL BE INSTITUTED DURING GRADING ACTIVITIES TO PREVENT A DUST NUISANCE TO ADJACENT PUBLIC AND PRIVATE PROPERTIES.
17. THE CONTRACTOR SHALL OBTAIN A SITE GRADING PERMIT FROM GARDEN CITY PRIOR TO THE COMMENCEMENT OF ANY GRADING ON THE SITE.

NAIL IN PP
ELEV=25.87'
NAVD88

NOTE:
CITY OF GARDEN CITY RETAINS THE RIGHT TO
ACCESS PROPERTY TO INSPECT STORMWATER
FACILITIES.

NO.	DATE	REVISION	BY

1620 DEAN FOREST ROAD
BUILDING ADDITION
P.I.N. 60988A 02009

COVER SHEET

COVER SHEET

COASTAL
Civil Engineering
3001 X River Drive Thunderbolt, CA
Tel 913.232.9402
WWW.COASTALCIVIL.COM

DATE	3/16/23
DRAWN BY	CHECKED
JH	TH
DRAWING NUMBER	
C1 OF C6	



GEORGIA

1620 DEAN FOREST ROAD
BUILDING ADDITION
P.I.N. 60988A 02009

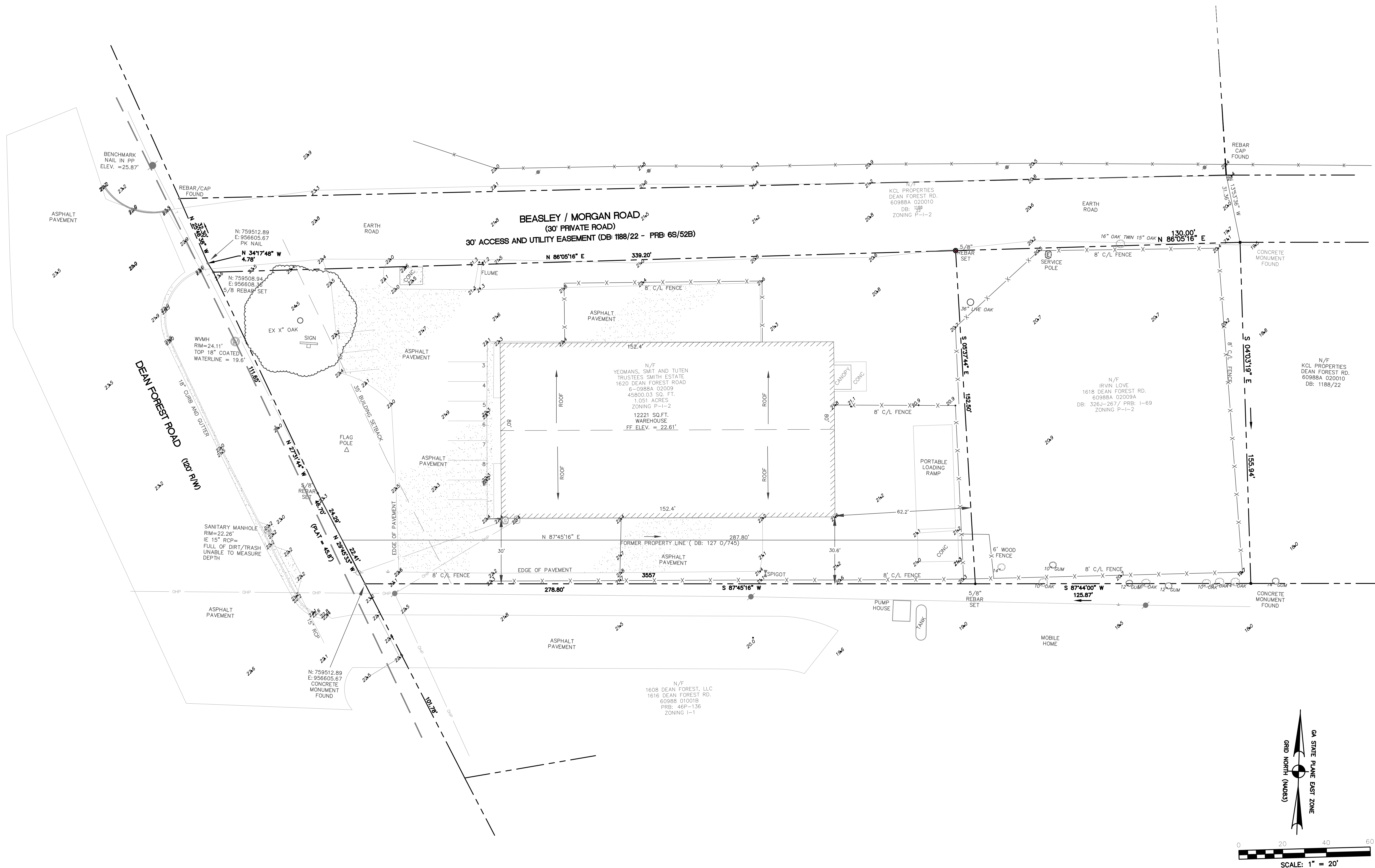
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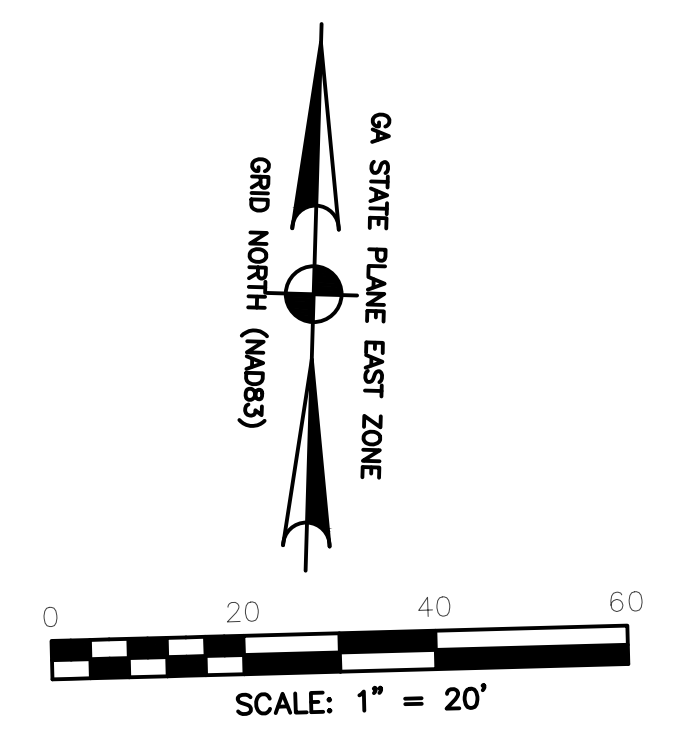
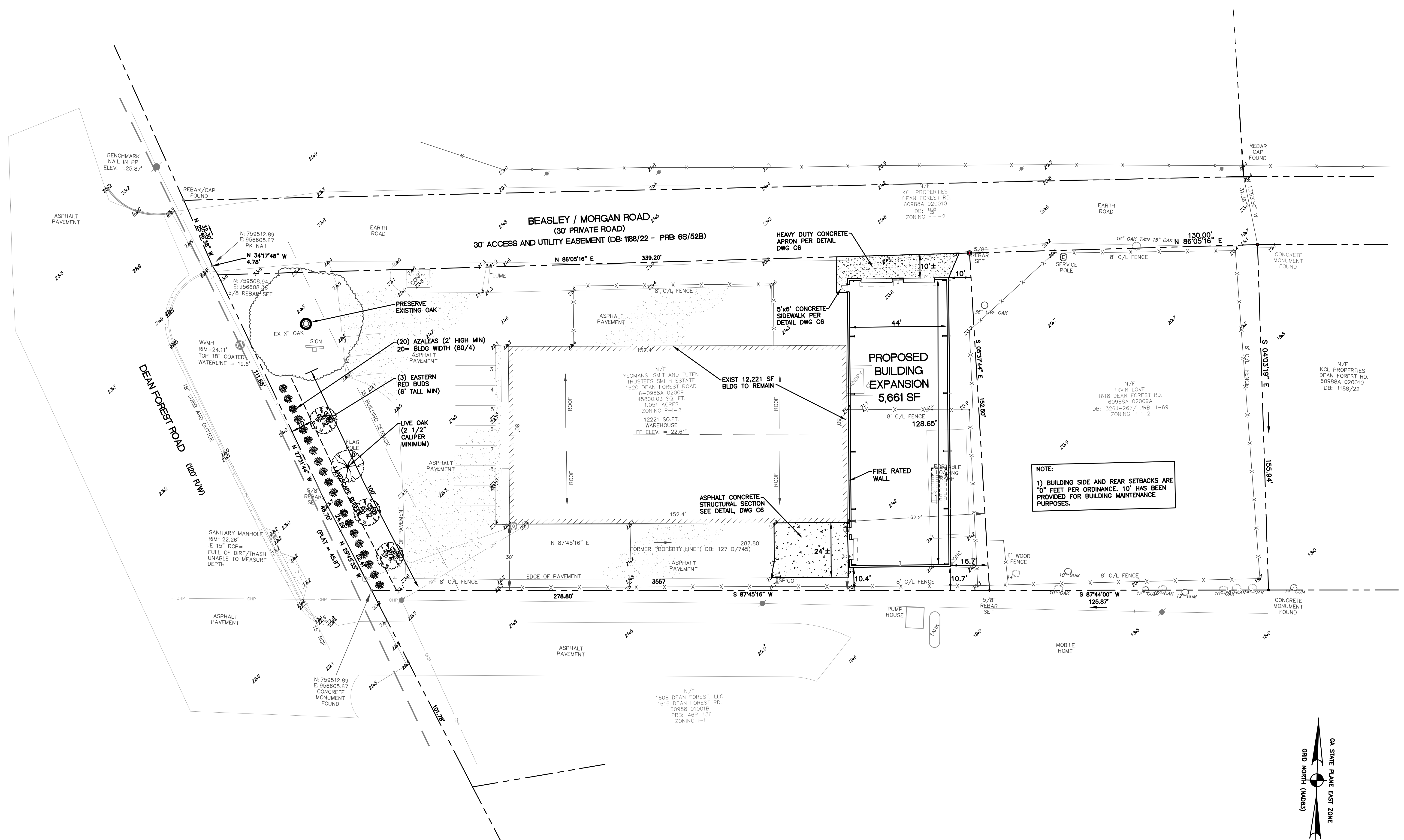
GARDEN CITY



DATE	3/16/23
DRAWN BY	JH
CHECKED	TH
DRAWING NUMBER	C2 OF C6

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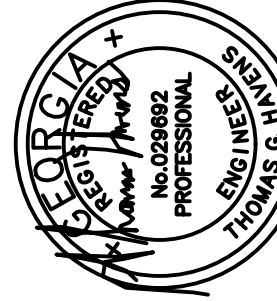
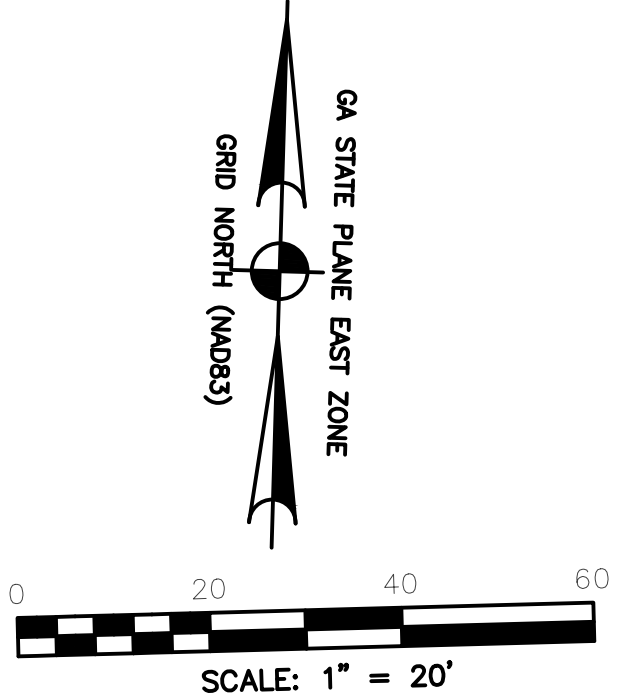
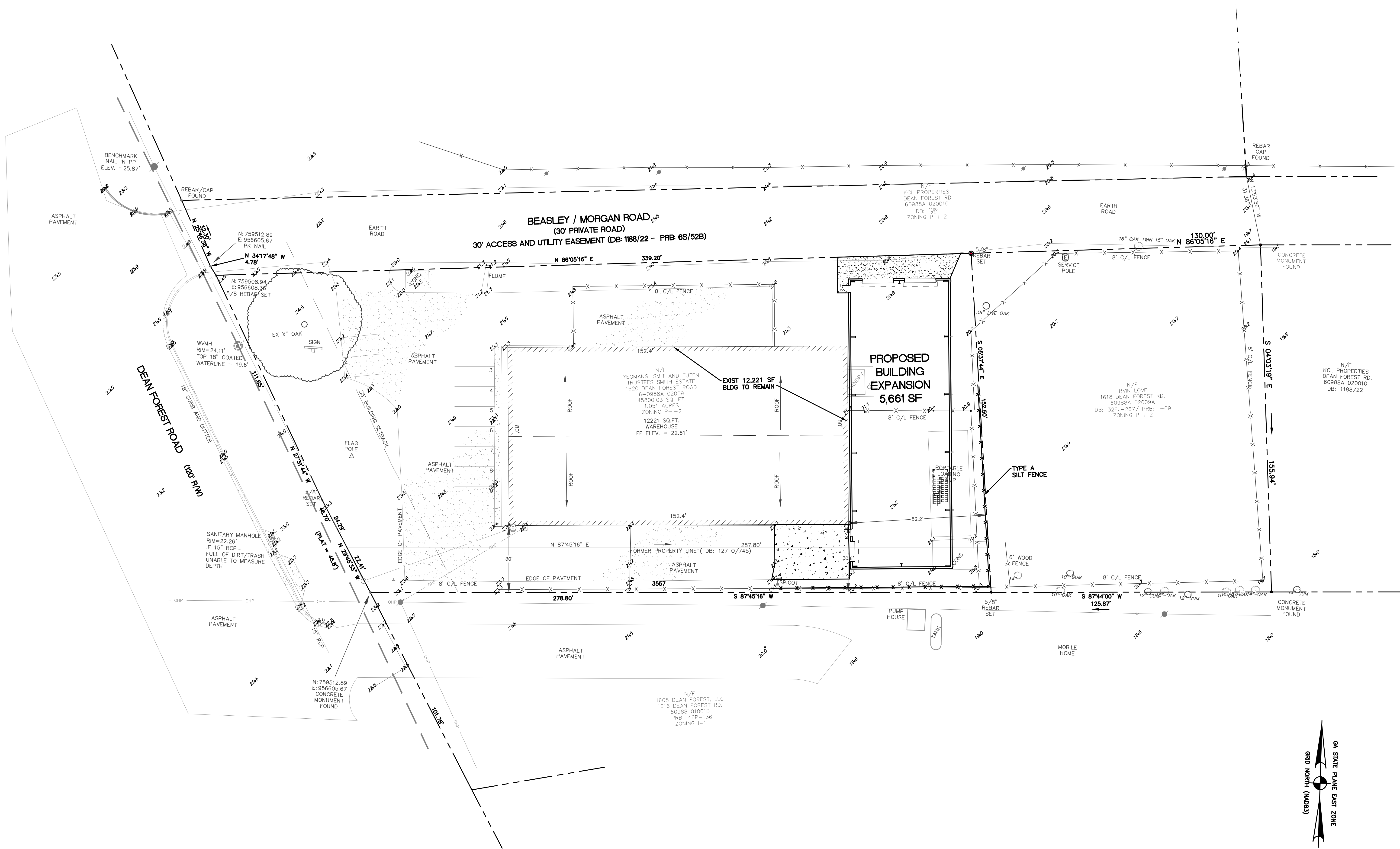
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DATE
4/21/23
DRAWN BY
JH
CHECKED
TH
DRAWING NUMBER
C3 of C6



1620 DEAN FOREST ROAD
BUILDING ADDITION
P.I.N. 60988A 02009
CIVIL SITE LAYOUT

COASTAL
Civil Engineering
3001 W. River Drive, Thunderbolt, GA
Tel 912.232.9402
WWW.COASTALCIVIL.COM

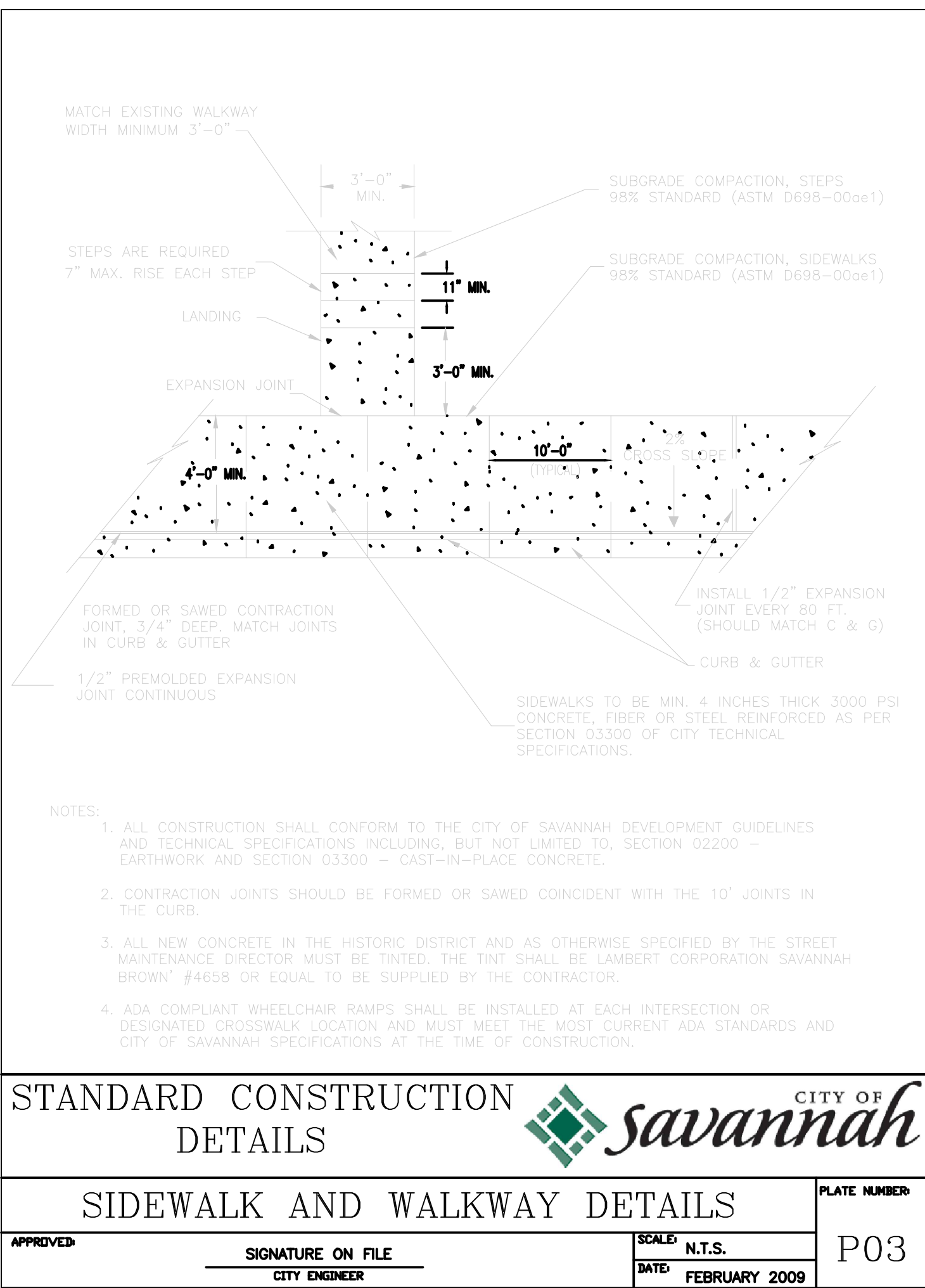
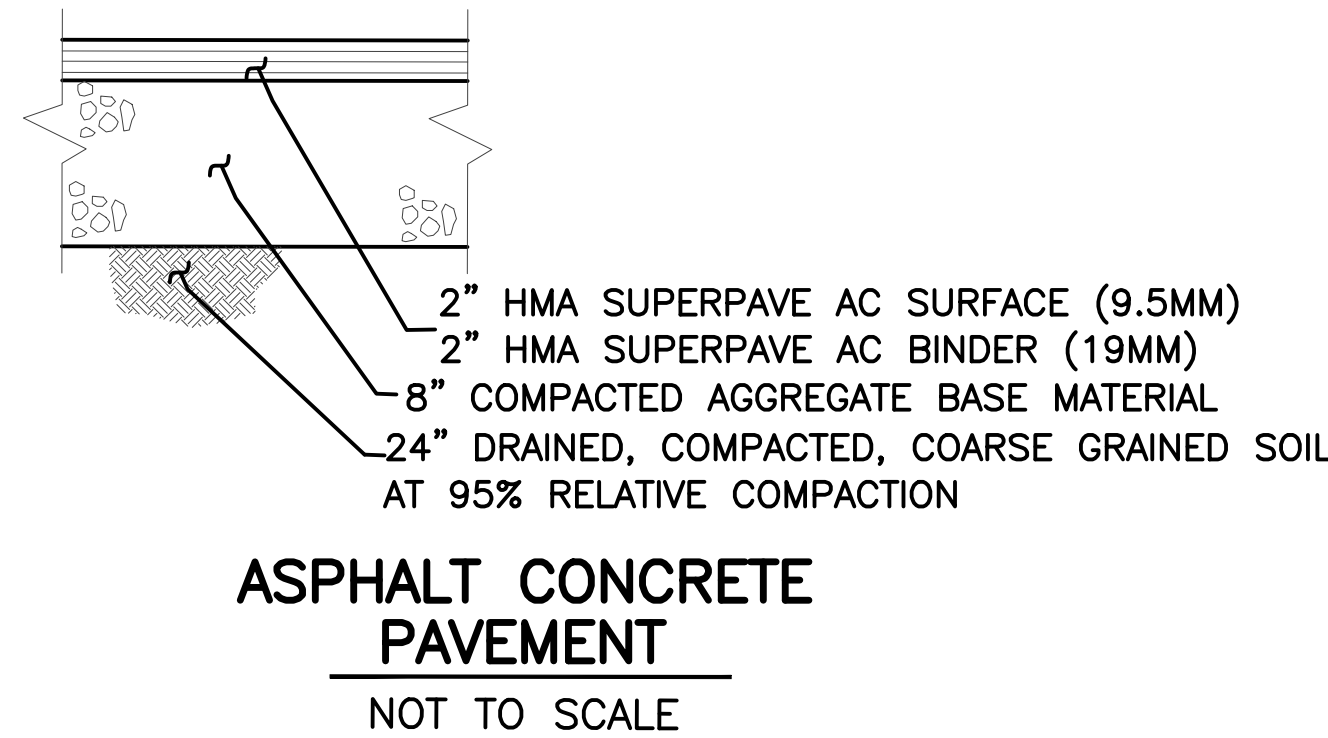
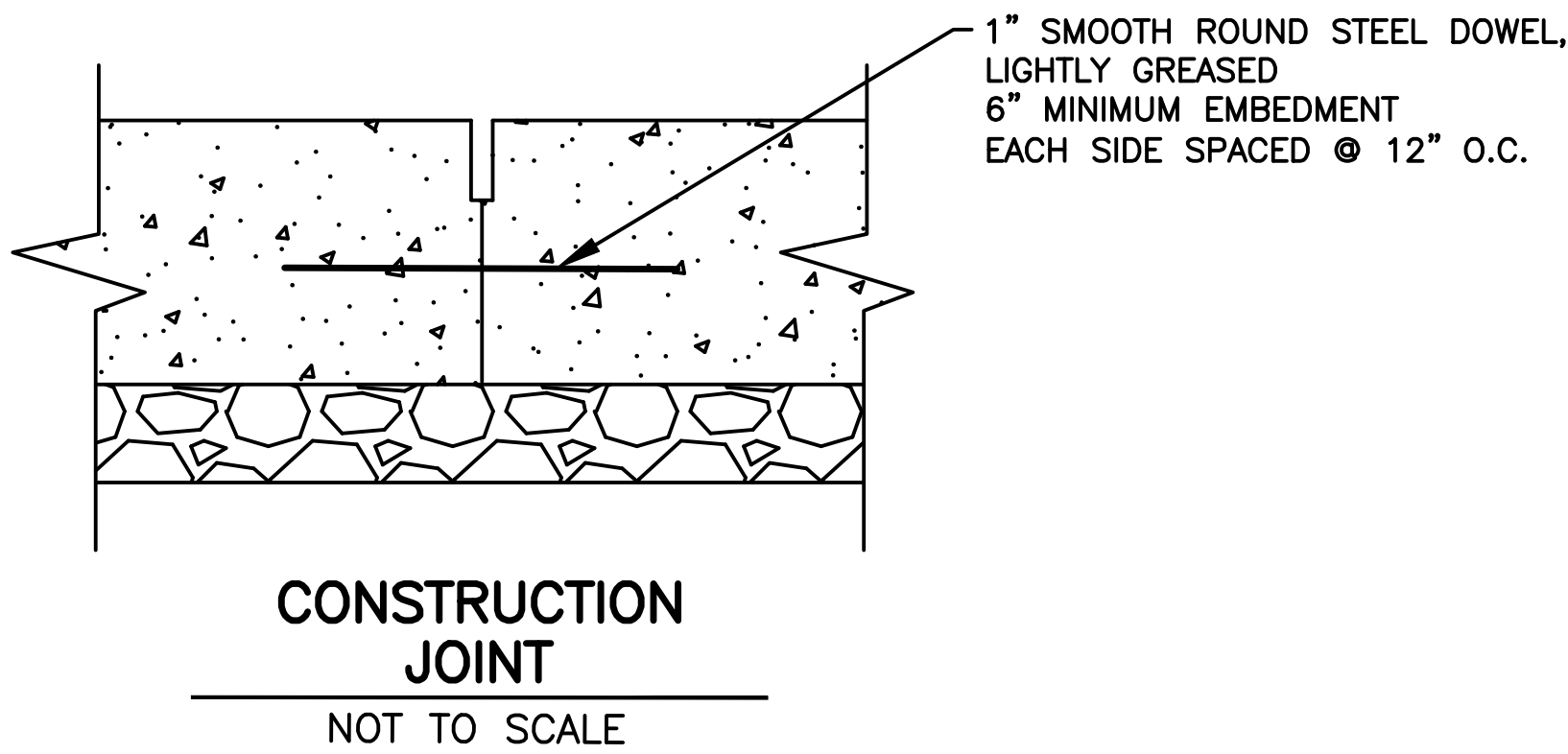
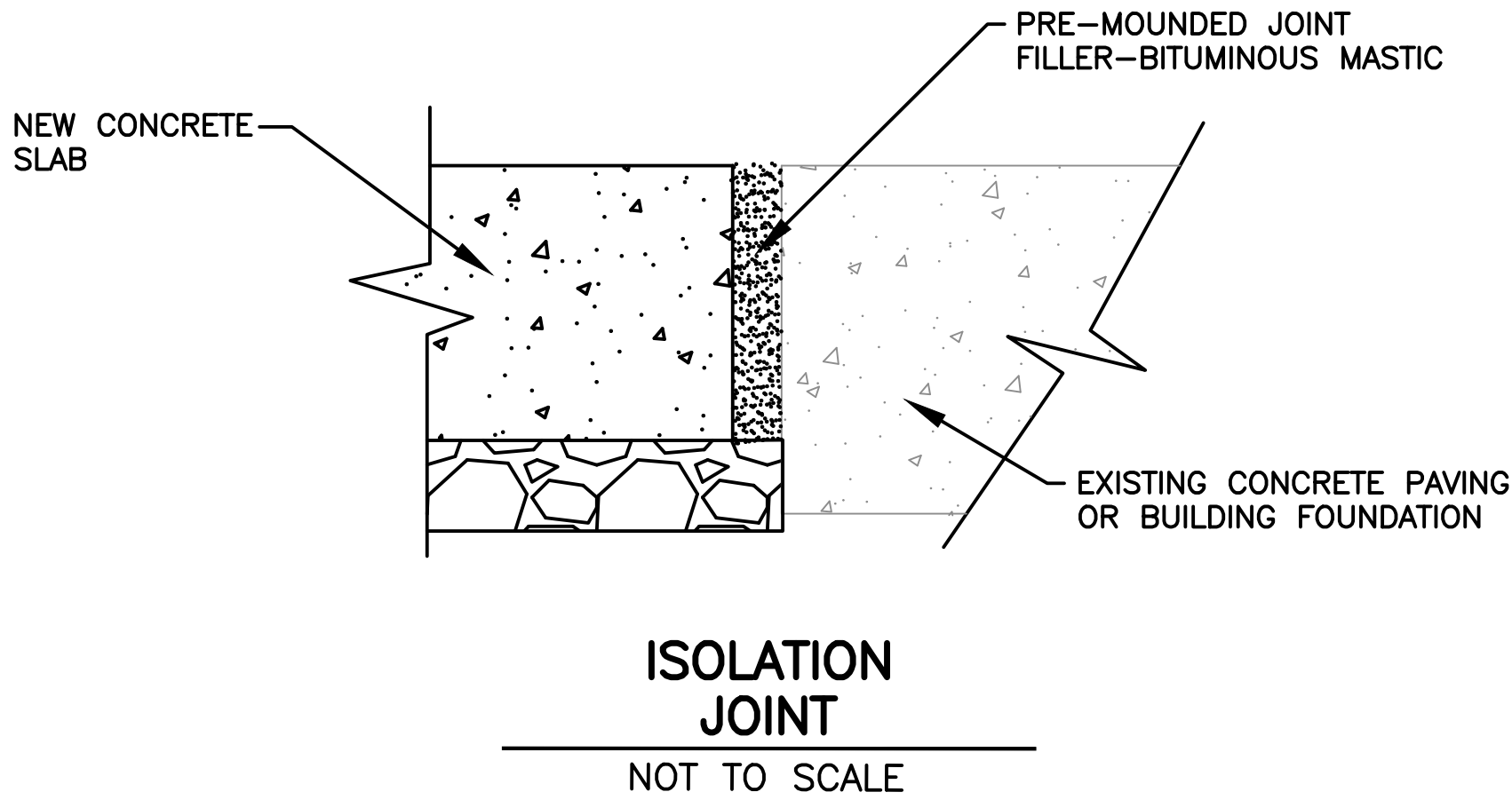
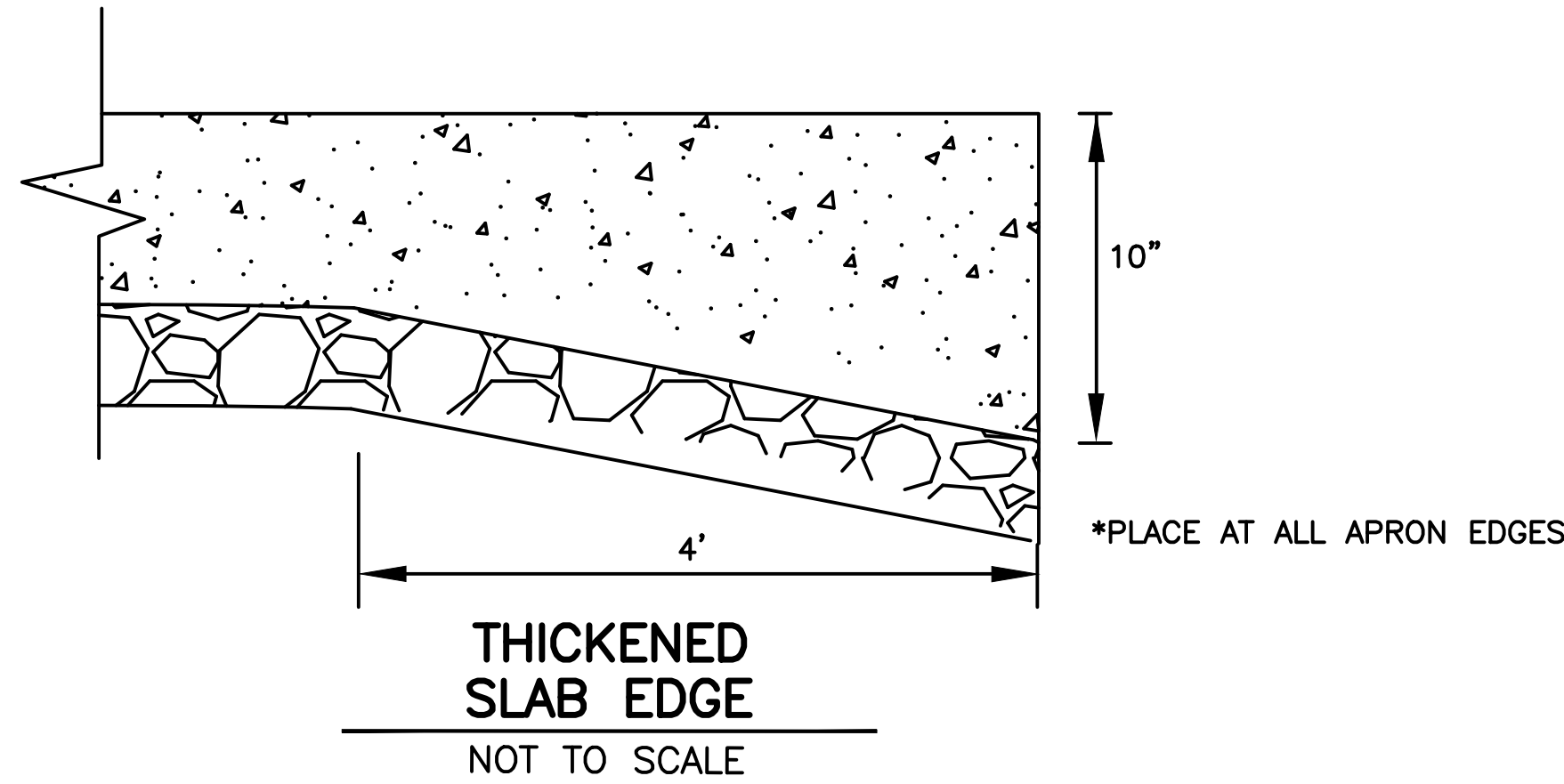
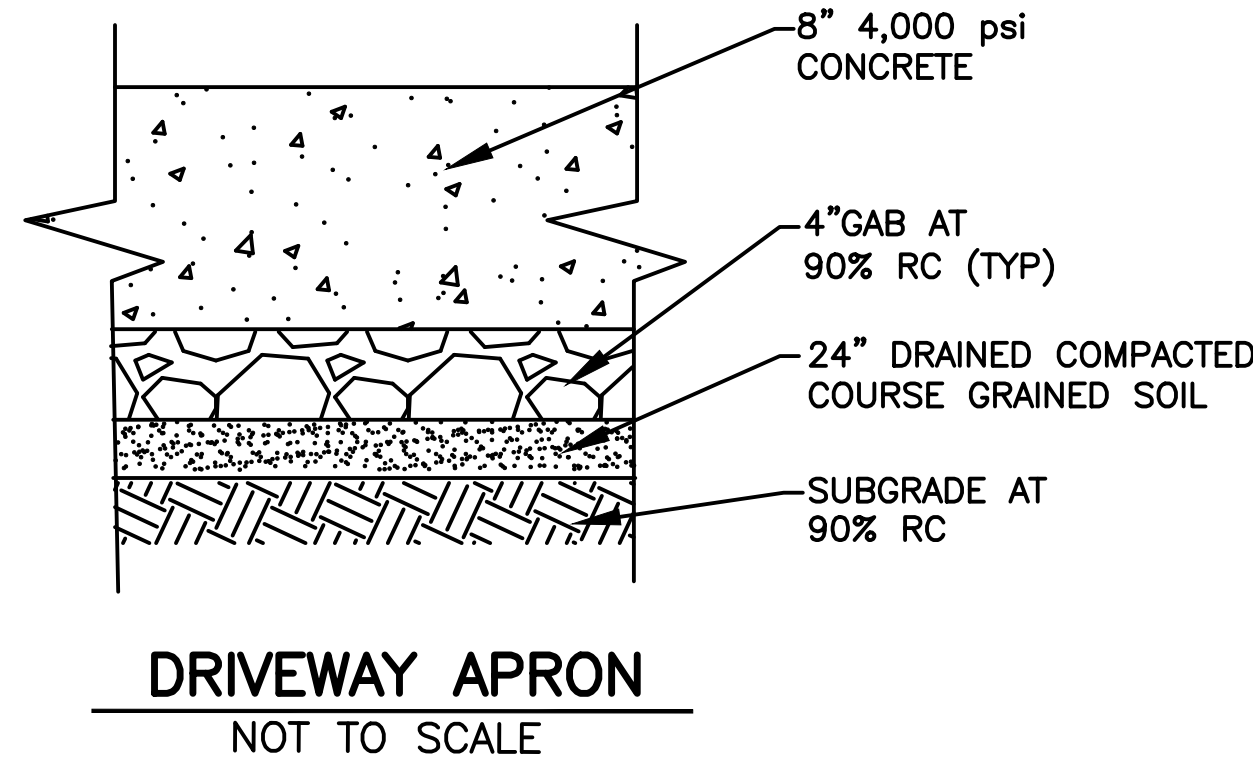
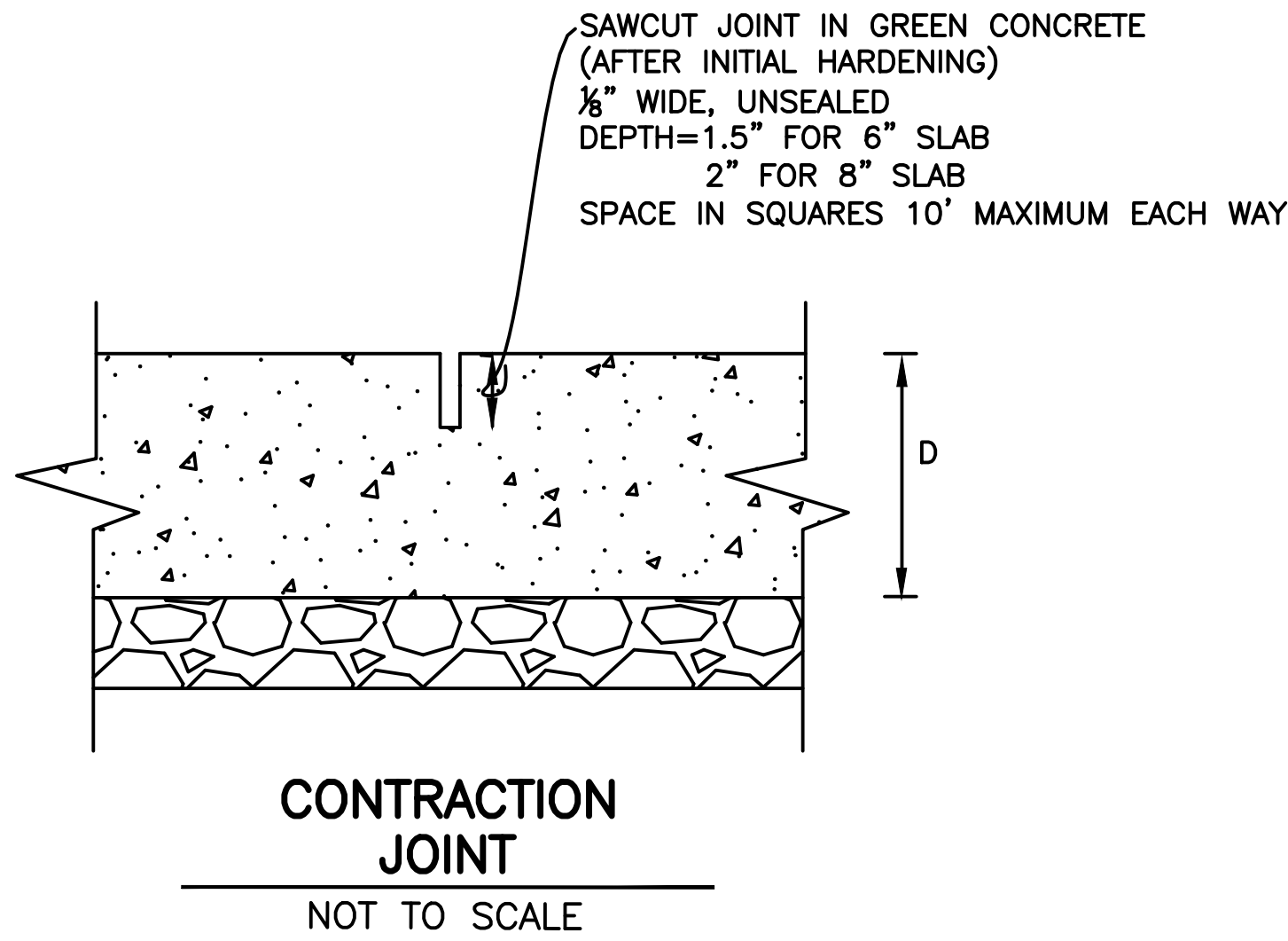


GEORGIA
1620 DEAN FOREST ROAD
BUILDING ADDITION
P.I.N. 60988A 02009
GARDEN CITY
EROSION AND SEDIMENT CONTROL PLAN

COASTAL
Civil Engineering
3001 W. River Drive, Thunderbolt, GA
Tel 912.232.9402
WWW.COASTALCIVIL.COM

DATE	3/16/23
DRAWN BY	JH
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DRAWING NUMBER	C5 of C6

NO.	DATE	REVISION	BY



1620 DEAN FOREST ROAD
BUILDING ADDITION
P.I.N. 60988A 02009

GARDEN CITY

GEORGIA

MISCELLANEOUS DETAILS



DATE: 3/16/23

DRAWN BY: JH

CHECKED: TH

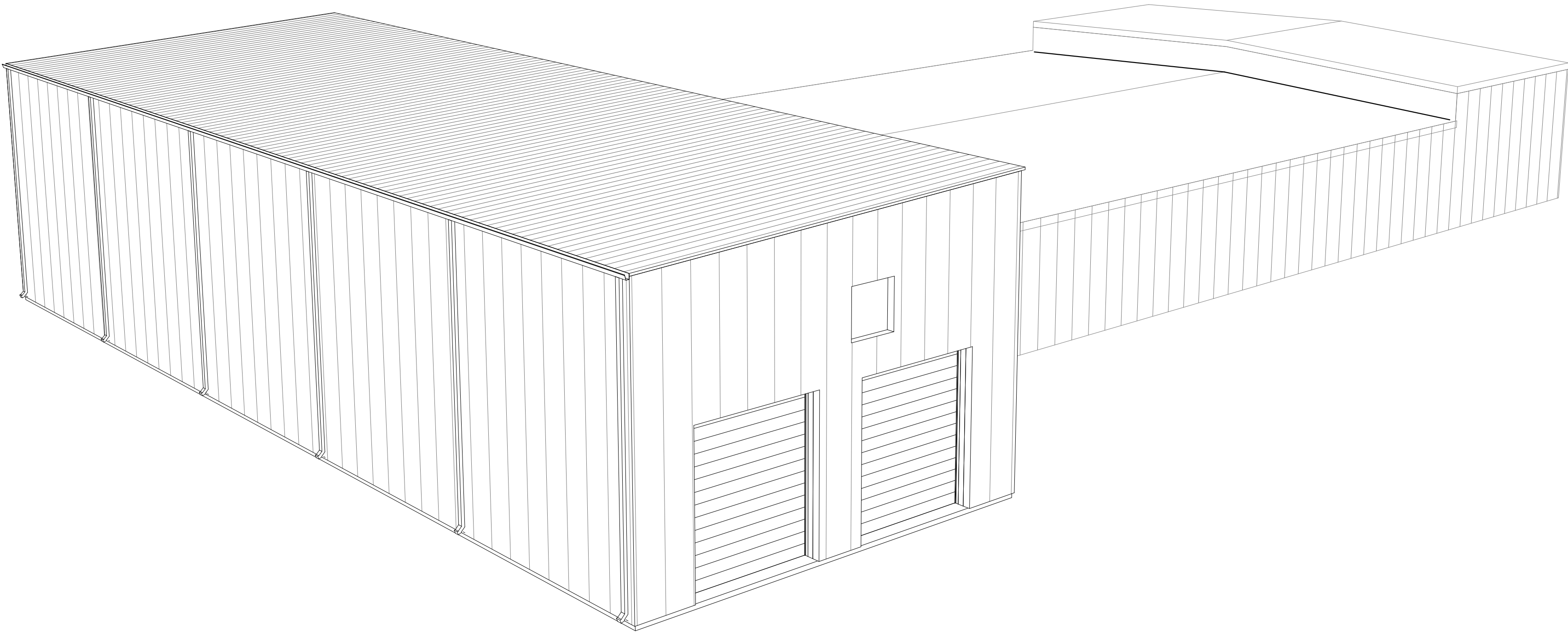
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NO.	DATE	REVISION	BY

1620 DEAN FOREST, LLC

BUILDING EXPANSION

1620 DEAN FOREST RD, SAVANNAH GA 31408



DRAWING INDEX			
Sheet Number	Sheet Name	PROJECT STATUS	REV
A001	COVER SHEET	PRELIMINARY- FOR REVIEW	
A100	FLOOR PLANS	PRELIMINARY- FOR REVIEW	
A101	ROOF PLAN	PRELIMINARY- FOR REVIEW	
A200	BUILDING ELEVATIONS	PRELIMINARY- FOR REVIEW	
A300	BUILDING SECTIONS	PRELIMINARY- FOR REVIEW	

ON

ARCHITECTURE

INNOVATIVE AFFORDABLE DESIGNS

224 Overlook Dr. Duluth, GA 30097 | 404.409.5427

Consultant

Address

Phone

Fax

e-mail

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1620 DEAN FOREST, LLC

BUILDING EXPANSION

1620 Dean Forest Rd, Savannah GA 31408

No.	Description	Date

Project #

000000000

Date

03/04/23

Drawn by

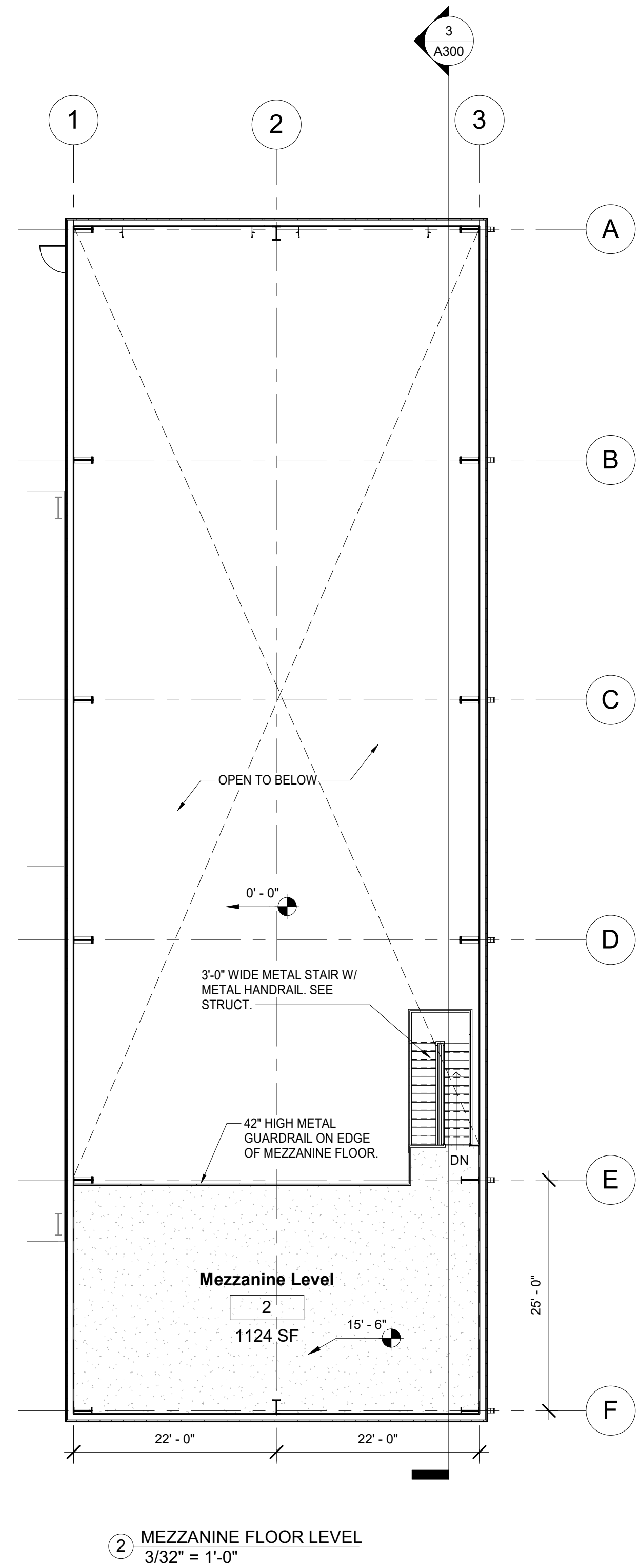
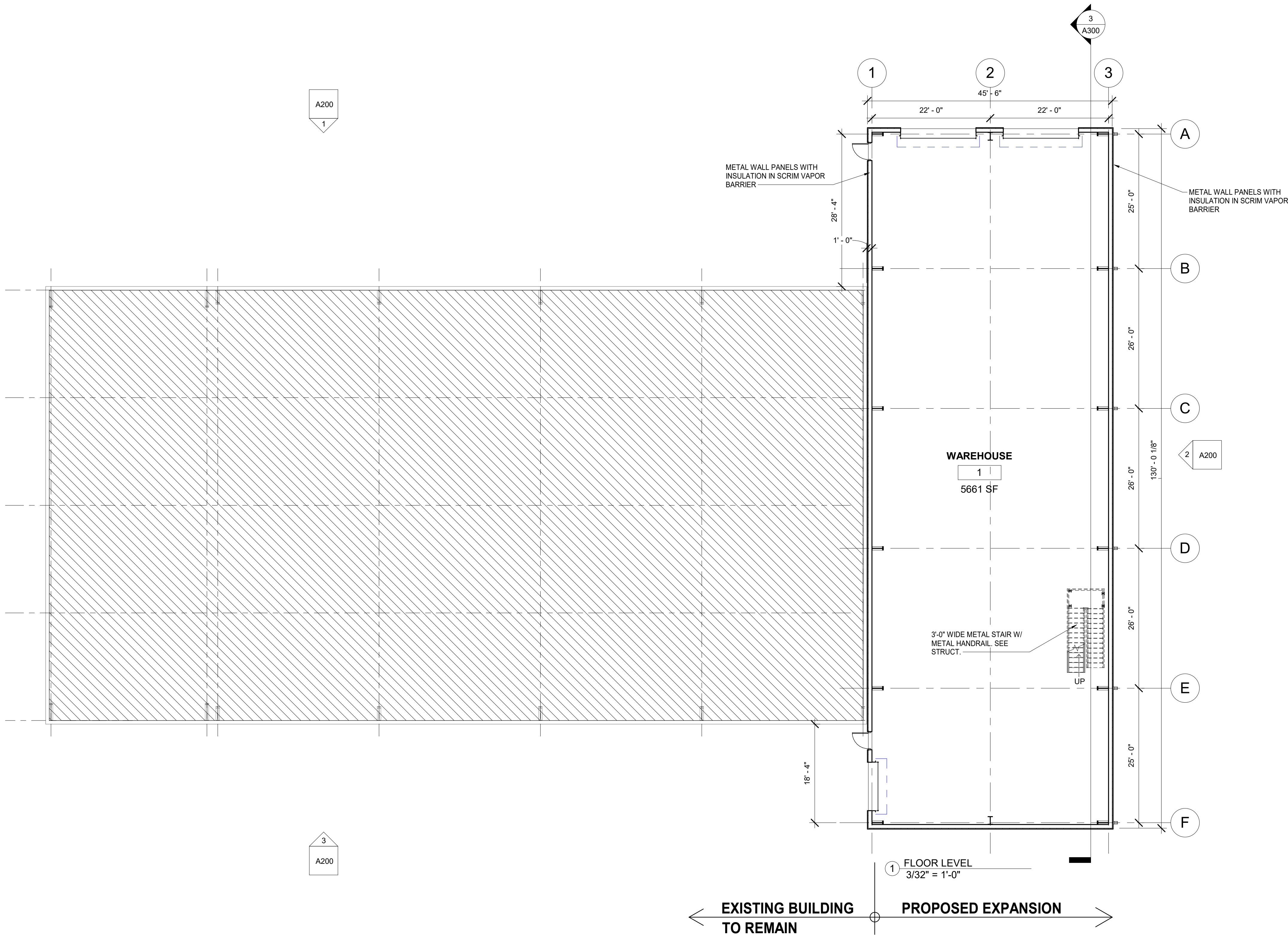
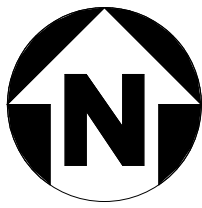
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FOR REVIEW

COVER SHEET

A001

Scale



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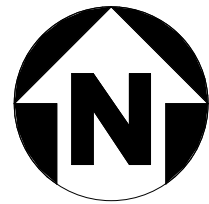
No.	Description	Date

Project # 000000000
Date 03/04/23
Drawn by ON
FOR REVIEW

FLOOR PLANS
A100

Scale 3/32" = 1'-0"

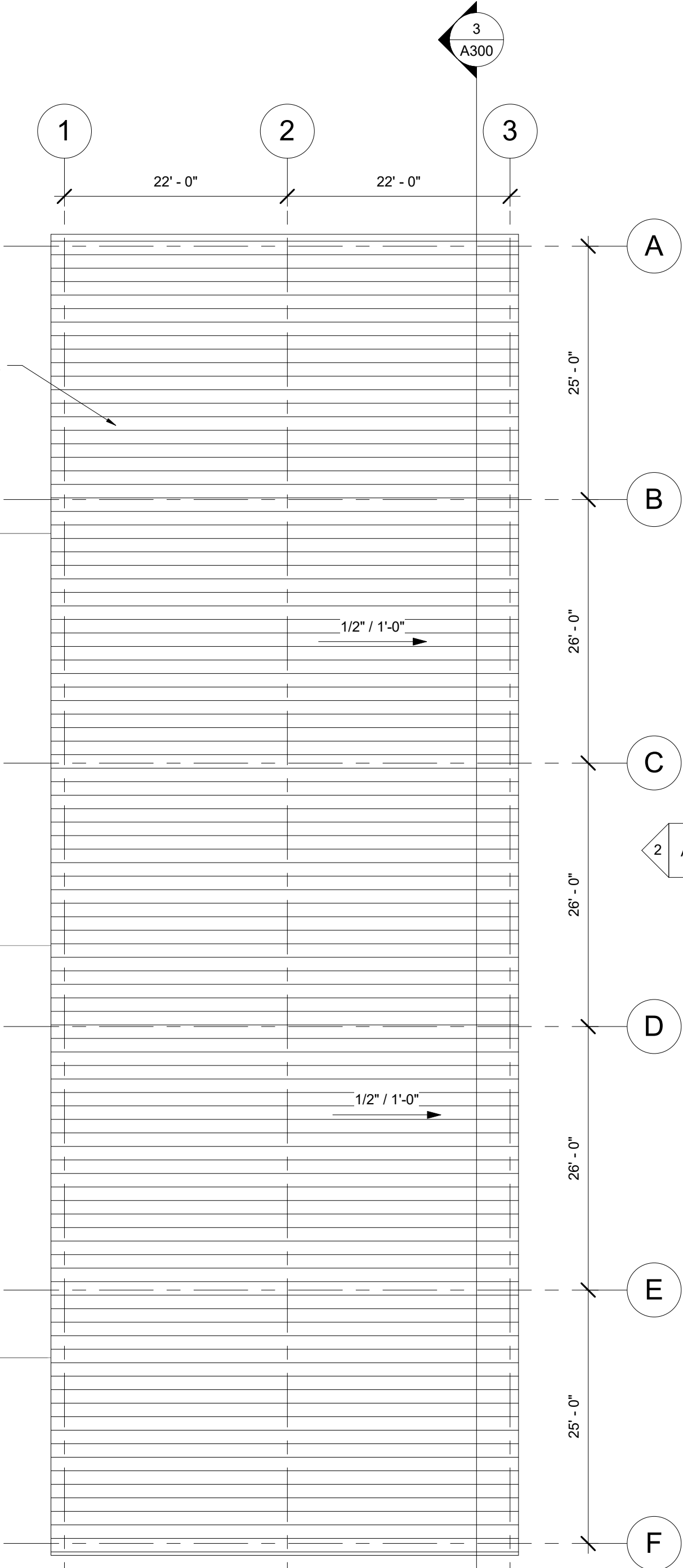
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A200
1

3
A200

STANDING SEAM METAL PANEL
ROOFING SYSTEM W/ INSULATION,
ON PURLINS BY BUILDING VENDOR



1 ROOF PLAN
3/32" = 1'-0"

EXISTING BUILDING

PROPOSED EXPANSION

ON
ARCHITECTURE

INNOVATIVE AFFORDABLE DESIGNS
224 Overlook Dr. Duluth, GA 30117 | 404.409.5427

Consultant
Address
Address
Phone
Fax
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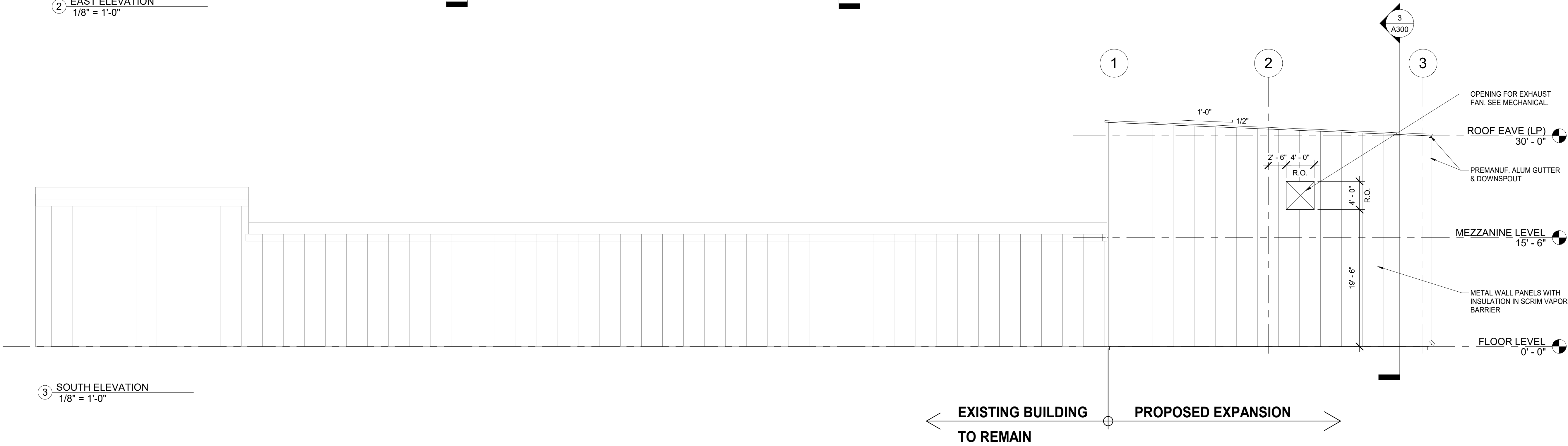
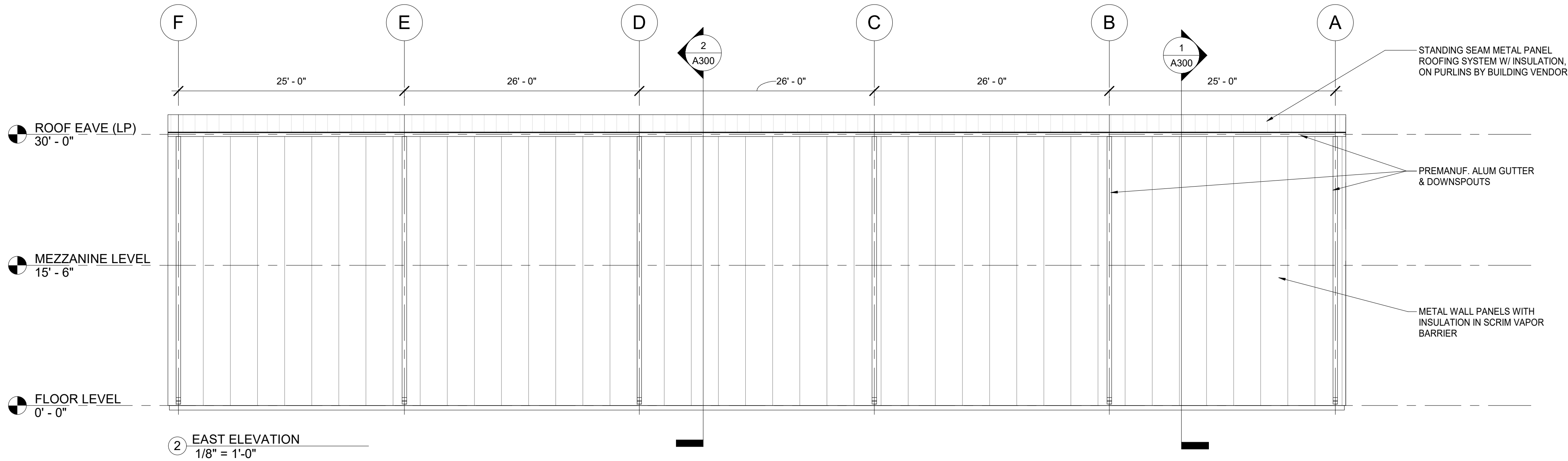
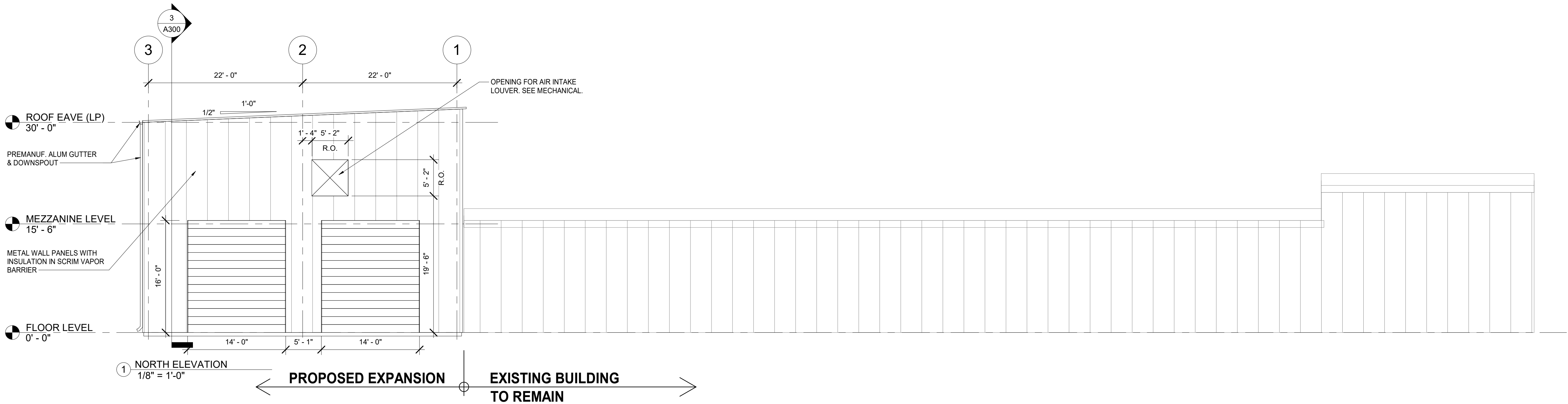
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BUILDING EXPANSION
1620 Dean Forest Rd, Savannah GA 31408

No.	Description	Date

Project # 0000000000
Date 03/04/23
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FOR REVIEW

ROOF PLAN
A101

Scale 3/32" = 1'-0"



ON

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BUILDING EXPANSION

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Project #

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Date

03/04/23

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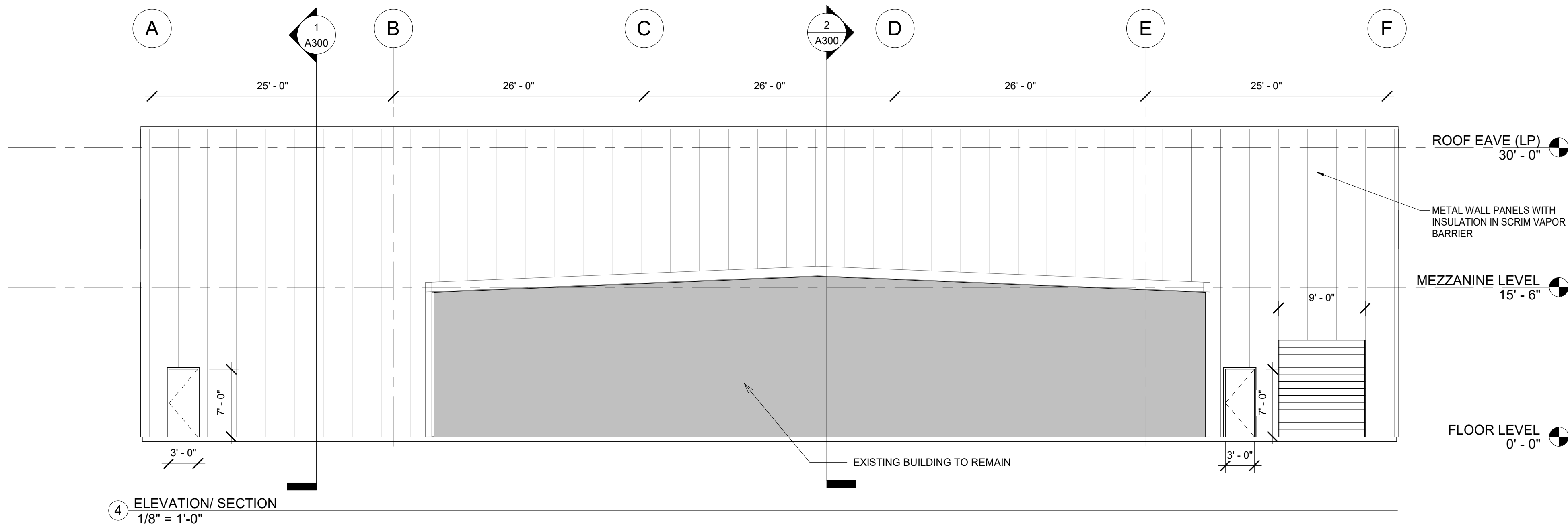
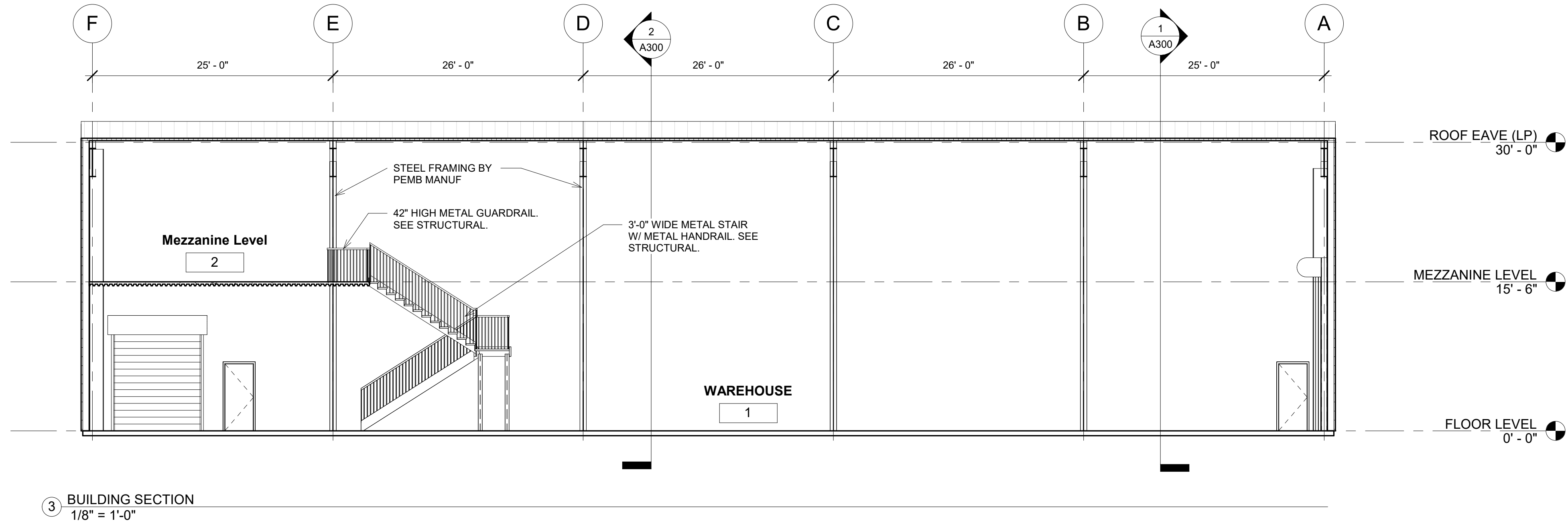
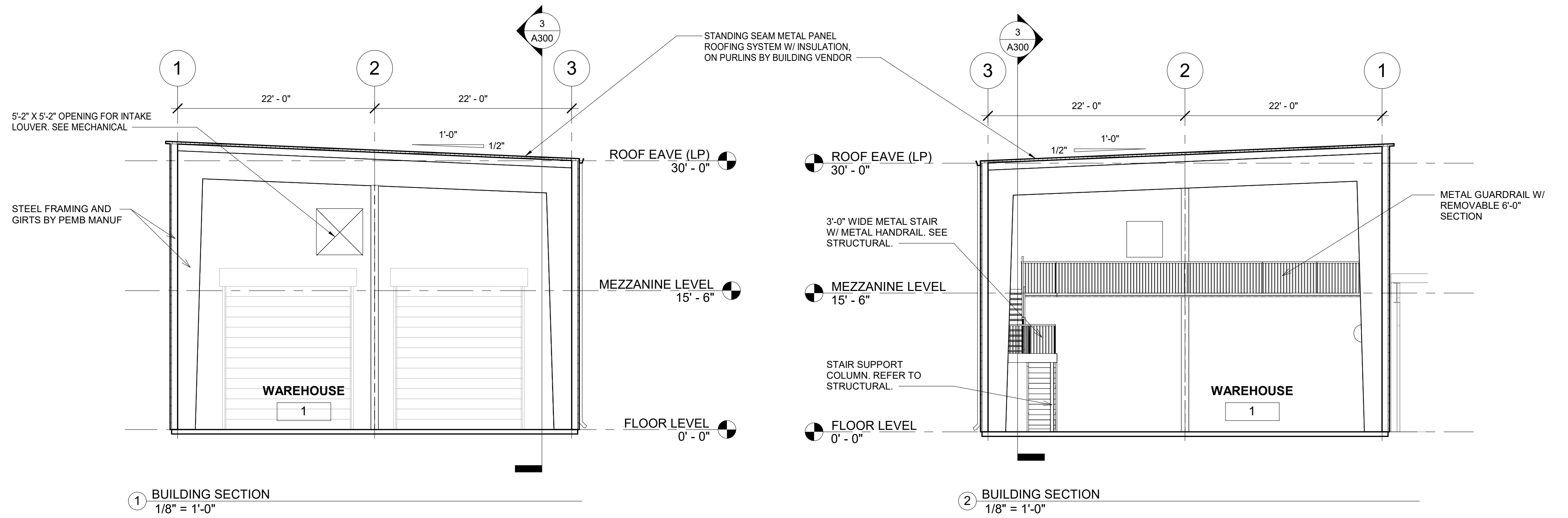
BUILDING ELEVATIONS

A200

1/8" = 1'-0"

Scale

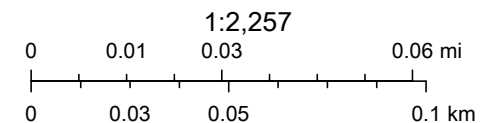
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No.	Description	Date

Project # 000000000
Date 03/04/23
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FOR REVIEW

Municipal Boundary		POOLER		THUNDERBOLT	UNINCORPORATED
	BLOOMINGDALE		PORT WENTWORTH		TYBEE ISLAND
	GARDEN CITY		SAVANNAH		VERNONBURG
					Zoning
					Owner, PIN and Address Labels



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