

# AGENDA

Board of Zoning Appeals / Planning Commission Meeting  
Tuesday, March 14, 2023 - 6:00pm

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## *Pre-agenda @ 5:00pm*

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### ✧ Call to Order

### ✧ Roll Call

### ✧ Approval of Agenda – March 14, 2023

### ✧ Approval of Board of Zoning Appeals/Planning Commission Minutes

- February 14, 2023

### ✧ Zoning Appeals

- PC2311: Jamie S. Graham requests a variance for an additional billboard at 1518 Old Dean Forest Rd ; PIN: 60963 01001.

### ✧ Adjournment

### ✧ Planning Commission

#### **Old Business**

- PC2243: Brian C. Hollings requests general development plan review of Anderson Avenue; PINs: 60022 01001, 60022 01004, 60022 01005, 60021 01001, 60021 01002, 60021 01003, 60021 01004, 60021 01005, 60021 01006.

#### **New Business**

- PC2308: CenterPoint Properties requests a subdivision into 8 lots from 2200 Dean Forest Rd, PIN: 60986 01002.
- PC2307: Walter Clark requests a general development plan review of 123 Beasley Rd; PIN: 60988A02004. Development Name: Goodship Logistics.
- PC2309: Dewitt Tilton Group requests a general development plan review of 5440 Augusta Rd; PIN: 60818 01010. Development Name: 5440 Augusta Rd Car Wash.
- PC2310: Roberts Management Inc requests a general development plan for a billboard at Heidt Ave; PIN: 60802 07001A
- PC2312: William Grainger requests a general development plan for a billboard at 0 Salt Creek Rd ; PIN: 60960 01001.
- PC2313: Beacon Outdoor Billboards requests a general development plan for a billboard at 2606 US Highway 80; PIN: 60926 03031.



- PC2314: Beacon Outdoor Billboards requests a general development plan for a billboard at 211 US Highway 80; PIN: 60020 06002B.
- PC2315: Beacon Outdoor Billboards requests a general development plan for a billboard at 4904 Augusta Rd; PIN: 60009 02004.
- PC2316: RaceTrac Petroleum Inc requests a general development plan review of 0 Dean Forest Rd; PINs: 60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002.
- PC2317: Andrew Morris requests a general development plan review of 4107C 8th St; PIN: 60022 03032.

#### ✧ **Adjournment**

Public Hearing and Consideration by City Council for PC2308 is scheduled for public hearing on March 20th 2023 at 6pm in the Council Chambers, and for City Council Consideration on April 03rd 2023 at 6pm in the Council Chambers, 100 Central Avenue, Garden City, Georgia 31405.



**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS  
BEFORE GARDEN CITY'S CONSOLIDATED BOARD OF ZONING APPEALS/PLANNING  
COMMISSION AND STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWERS OF THE  
BOARD OF ZONING APPEALS AND THE PLANNING COMMISSION**

**I. Procedures for Conducting Public Hearings on Proposed Zoning Decisions:**

All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission on matters referred to it shall be called to order by the presiding officer.
- (2) The presiding officer shall open the hearing by stating the specific zoning matter being considered at the public hearing, and shall explain the procedures to be followed in the conduct of the hearing and further stating that printed copies of the adopted standards governing the exercise of the zoning powers of the Board of Zoning Appeals and Planning Commission, and the procedures governing hearings before the Board are available to the public.
- (3) The presiding officer shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (4) When there is a large number of individuals wishing to testify at a hearing, the presiding officer may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The presiding officer may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (5) The petitioner requesting the proposed decision, or the petitioner's agent, shall be recognized first and shall be permitted to present and explain the request for the decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the matter.
- (6) After all individuals have had an opportunity to speak in accordance with subparagraph (5) above, those individuals present at the public hearing who wish to speak in opposition to the proposed decision shall have an opportunity to speak.
- (7) Once all parties have concluded their testimony, the presiding officer shall adjourn the public hearing.

**II. Standards Governing the Exercise of The Zoning Powers of Garden City's Board of Zoning Appeals:**

The Board of Zoning Appeals shall have the following powers:

- (1) To hear and decide appeals where it is alleging that there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 90 of the Garden City Code of Ordinances.
- (2) To decide upon requests for permission to establish uses which the Board of Zoning Appeals is required to pass under the terms of Chapter 90 of the Garden City Code of Ordinances. The application to establish such use shall be approved on a finding of the Board of Zoning Appeals that:
  - (a) The proposed use does not affect adversely the general plans for the physical development of the city, as embodied in Chapter 90 of the Garden City Code of Ordinances and in any master plan or portion thereof adopted by the Mayor and Council.
  - (b) The proposed use will not be contrary to the purposes stated for Chapter 90 of the Garden City Code of Ordinances.
  - (c) The proposed use will not affect adversely the health and safety of residents and workers in the city.
  - (d) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.
  - (e) The proposed use will not adversely affect the existing uses in the neighborhood.
  - (f) The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of such use.
  - (g) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.



- (h) The standards set forth for each particular use for which a permit may be granted have been met.

The Board of Zoning Appeals may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community and to protect the value and use of the property in the general neighborhood. The proposed use shall be subject to the minimum area, setback, and other locational requirements of the zoning district in which it will be located. The proposed use shall be subject to the off-street parking and service requirements of Chapter 90 of the Garden City Code of Ordinances. Wherever the Board of Zoning Appeals shall find, in the case of any permit granted pursuant to the provisions of said Chapter 90, that any of the terms, conditions or restrictions upon which such permit was granted are not being complied with, the Board shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.

- (3) To authorize upon appeal in specific cases such variance from the terms of Chapter 90 of the Garden City Code of Ordinances as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of said Chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the Board of Appeals that:
- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
  - (b) The application of said Chapter 90 to this particular piece of property would create practical difficulty or unnecessary hardship;
  - (c) Such conditions are peculiar to the particular piece of property involved; and,
  - (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of said Chapter 90.

No variance shall be granted for a use of land or building or structure that is prohibited by Chapter 90 of the Garden City Code of Ordinances.

### **III. Powers and Duties of the Planning Commission.**

The Planning Commission is granted all powers and is assigned all duties that the City's Mayor and Council is authorized and empowered to grant and assign, to include the following:

- (1) Making comprehensive surveys and studies of existing conditions and probable future developments and preparing such plans for physical, social, and economic growth as will best promote the public health, safety, morals, convenience, prosperity, or general welfare, as well as efficiency and economy in the development of the city.
- (2) Preparing a master plan or parts thereof for the development of the city.
- (3) Preparing and recommending for adoption to the city council a zoning ordinance or resolution and map for the city.
- (4) Preparing and recommending for adoption to the city council regulations for the subdivision of land within the city, and administering the regulations that may be adopted.
- (5) Preparing and recommending for adoption to the city council a plat or an official map showing the exact location of the boundary lines of existing, proposed, extended, widened, or narrowed streets, public open spaces, or public building sites, together with regulations to control the erection of buildings or other structures within such lines, within the city or a specified portion thereof.
- (6) Making, publishing, and distributing maps, plans, and reports and recommendations relating to the master plan and development of the city to public officials and agencies, public utility companies and civic, educational, professional, and other organizations and citizens.
- (7) Recommending to the executive or legislative officials of the city programs for public improvements and the financing thereof.
- (8) Reviewing all proposed amendments to the zoning ordinance, the subdivision ordinance, and the zoning map, and making recommendation as per Garden City Code Section 90-201 in each case to the city council for approval or denial.
- (9) Approving site and development plans as per Garden City Code Sections 90-43, 90-47, 90-48 and 90-49.
- (10) Approving certain uses in the mixed-use zoning districts as per Garden City Code Section 90-49.



**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS  
BEFORE GARDEN CITY'S MAYOR AND COUNCIL  
AND STANDARDS GOVERNING THE EXERCISE OF CITY COUNCIL'S ZONING POWER**

**Procedures for Conducting Public Hearings on Proposed Zoning Decisions:**

All public hearings conducted by the Board of Zoning Appeals for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings by the Mayor and Council on zoning amendments shall be chaired by the Mayor.
- (2) The Mayor shall open the hearing by stating the specific zoning amendment being considered at the public hearing and further stating that printed copies of the adopted standards governing the exercise of the Mayor and Council's zoning power and the procedures governing the hearing are available to the public.
- (3) The Director of the City's Planning and Zoning Department shall advise the Mayor and Council of the recommendation of the Planning Commission when applicable.
- (4) The Mayor shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (5) When there is a large number of individuals wishing to testify at a hearing, the Mayor may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The Mayor may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (6) The petitioner requesting such zoning decision, or the applicant's agent, shall be recognized first and shall be permitted to present and explain the request for the zoning decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the zoning decision.
- (7) After all individuals have had an opportunity to speak in accordance with subparagraph (6) above, those individuals present at the public hearing who wish to speak in opposition to the requested zoning decision shall have an opportunity to speak.
- (8) The Mayor may limit repetitious comments in the interest of time and may call for a show of hands of those persons present in favor of or opposed to the proposed decision.
- (9) It shall be the duty of the Mayor to maintain decorum and to assure the public hearing on the proposed decision is conducted in a fair and orderly manner.
- (10) Once all parties have concluded their testimony, the Mayor shall adjourn the public hearing.

**Standards Governing the Exercise of The Zoning Powers of Garden City's Mayor and Council:**

Prior to making a zoning amendment, the Mayor and Council shall evaluate the merits of a proposed amendment according to the following criteria:

- (1) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (2) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (3) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
- (4) Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?
- (5) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- (6) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?



Board of Zoning Appeals/Planning Commission  
February 14, 2023 - 6:00PM

Opening: Vice-Chair Jenecia Perry welcomed everyone and called the meeting to order.

Roll Call: Jenecia Perry; Vice-Chair, Jeff Ashley; Parliamentarian, Michael Bruner, Misty Selph, Gary Monroe, and Charles Orrel. Billy Jackson and Nancy Cox were absent.

Staff: Denise Grabowski (Planning Manager -Consultant-), Jonathan Trego (Code Enforcement Officer), and Scott Robider (City Manager).

Visitors: Enclosed

Commissioner Ashley Jackson made a motion to remove the tabled items from the agenda. Commissioner Selph seconded. Motion passes with no opposition.

Vice-Chair Perry calls for a motion to approve the agenda. Commissioner Selph made a motion, Commissioner Ashley seconded, vote passes with no opposition.

Vice-Chair Perry made a motion to approve the minutes from the prior meeting, Commissioner Ashley seconded, vote passes with no opposition.

**Planning Commission**

PC2301: 1608 Dean Forest LLC requests a rezoning of 1616 Dean Forest Rd, 60988 01001B from I-1 to I-2.

Vice-Chair Perry introduced the item and called for a speaker for the application.

Ryan Smith, applicant, approached and introduced himself and the project.

Commissioner Monroe asked if the project would include a recombination.

The applicant said the parcels would most likely be combined.

Commissioner Monroe asked about the total size of the project.

Denise Grabowski said that the total size was 3.88 acres.

Commissioner Monroe asked if the adjacent property was also industrial.

Denise Grabowski said yes.

Commissioner Ashley asked about access to the property.



The applicant said there would be the same access point as the other parcel.

Commissioner Ashley said he was concerned about the proximity of the container parking to the nearby houses.

Vice-chair Perry asked for additional questions and then additional speakers. Being none, Vice-chair Perry called for a motion.

Commissioner Monroe made a motion to approve, Commissioner Bruner seconded, vote passes 5-0 (Commissioner Selph left the stage and did not vote).

Commissioner Monroe said that he made a motion for the wrong case number and made a motion to correct the case number and vote, Commissioner Orrel seconded. Vote passes 6-0.

PC2302: Daniel Vallencourt request a general development plan review of 204 Dean Forest Road; 60924A 02011.

Vice-chair Perry asked for a speaker in favor of the applicant.

Daniel Vallencourt approached and gave an overview of the project.

Vice-chair Perry asked for staff recommendation.

Denise Grabowski said the recommendation is approval.

Commissioner Selph gave welcomes to Garden City and asked about the landscaping.

The applicant spoke about landscaping and screening plans.

Commissioner Selph asked if he would be willing do install an aesthetically pleasing screen.

The applicant said that he would be happy to do that.

Vice-Chair Perry asked if there was anyone else who would like to speak on this matter.

Being none, she called for a motion.

Commissioner Orrel made a motion to approve with the improved screening (slats), Commissioner Ashley seconded. Motion passes 6-0.

PC2305: Maxwell P. Beatty requests a rezoning of 35 Telfair Place (formerly 4 Telfair Place), 60799 02002C, from C-1 to I-1.

Vice-Chair Perry asked for the speakers to come to the podium and for staff recommendations.

Denise Grabowski said the staff recommendation was denial.

Applicant, Maxwell Beatty, and his attorney came to the podium. His attorney asked for clarification if this regarding both properties or just one.



Denise Grabowski said that each parcel is a separate case.

The applicant said that he wants it industrial because nearby land is industrial and he wants to be able to sell it for a higher rate.

Commissioner Orrel made comments about the proximity of the parcel to the intersection and the potential for issues with truck traffic.

The applicant made comments about his age, how long he owned the property, and how he has been there longer than Garden City. And, how he wants to rezone it to get more in a sale.

Commissioner Orrel said there are many commercial uses nearby, and there is a feasible path to develop the property for a number of commercial uses.

The applicant's attorney said he feels his applicant can get more money for it if it is rezone.

Commissioner Orrel said that the request is not descriptive enough and he does not feel like he knows the intentions of what may be there.

Vice-Chair Perry asked if there were more questions for the applicant.

Commissioner Bruner brought up the future land use map and how this was intended to stay commercial.

The applicant's attorney said that the eastside of the highway is considered commercial.

Vice-Chair Perry asked if there any other questions for the applicant. Being none, she then asked for any speakers from the public. Vice-Chair Perry called for a motion.

Commissioner Orrel made a motion to deny, Commissioner Selph seconded, motion passed 6-0.

PC2306: Maxwell P. Beatty requests a rezoning of 38 Telfair Place, 60799 01001A from C-1 to I-1.

Vice-Chair Perry asked the applicant Mr. Beatty and his attorney to return back to the podium because there was another case to be heard.

The applicant briefly summarized why he wants to rezone this parcel, for selling purposes, and he has owned this land since at least 1976.

The applicant's attorney said this plot of land was different because of it's location.

Commissioner Selph asked if the applicant could be provided with a list of options for the property.

Denise Grabowski said it could be potential that rezoning to another class of commercial could possibly be more realistic.



Commissioner Bruner said that this property was different as it was more so bordered by industrial property.

Vice-Chair Perry asked for any more questions for the applicant and any speakers from the public to approach.

Commissioner Monroe said he would like to answer some of the questions and spoke about the current procedure. Vice-Chair Perry called for a motion.

Commissioner Bruner made a motion to approve. Nobody seconded, so the motion did not carry.

Commissioner Selph made a motion to deny. Commissioner Orrel seconded. Motion passed 5-1, with Commissioner Bruner voting in opposition.

Commissioner Ashley made a motion to adjourn, Commissioner Selph seconded. Motions passes and meeting adjourns.

Respectfully submitted  
JRT



Sec. 90-174. - Outdoor advertising or separate use signs.

To preserve and promote the public health, safety, and welfare of the citizens of Garden City, Georgia, to maintain and enhance the visual environment, and to preserve the right of citizens to enjoy Garden City's scenic beauty, to improve pedestrian and traffic safety, and to minimize the possible adverse effect of outdoor advertising or separate use signs on nearby public and private property, the following regulations shall govern the location of such signs within the city:

- (1) An outdoor advertising or separate use sign may be located on any property located in a mixed use, commercial, or industrial zoning district in addition to any other freestanding sign authorized by this article so long as such sign complies with the pertinent provisions of the City Code.
- (2) Outdoor advertising or separate use signs are allowed on parcels fronting state or federal highways in commercial, industrial, or mixed use districts only. Such signs are limited to 480 square feet in sign area with dimensions not exceeding 12 feet in height or 42 feet in width.
- (3) Outdoor advertising or separate use signs are allowed on parcels adjacent to streets other than state or federal highways in commercial, industrial, and mixed use districts only. Such outdoor advertising or separate use signs are limited to 400 square feet in sign area per face, with dimensions not exceeding 12 feet in height and 25 feet in width.
- (4) Outdoor advertising or separate use signs shall be erected to a height of no more than 50 feet where located adjacent to state and federal highways and no more than 30 feet when located adjacent to other streets.
- (5) All portions of a sign face and support members of any outdoor advertising or separate use sign shall be set back from all buildings, structures, and property lines in compliance with the setback requirements of this Code applicable to the zoning district where the sign is located.
- (6) Only one outdoor advertising or separate use sign shall be allowed per platted lot. No outdoor advertising or separate use sign shall be placed on any residentially zoned lot which contains any freestanding sign. Outdoor advertising or separate use signs shall be no less than 1,000 feet apart, measuring from the two closest points and only one sign face shall be allowed to face the same direction per location. This allows back-to-back or "V" formation signs but prohibits two signs side-by-side or over-and-under, facing the same direction. The faces of a sign constructed in the form of a "V" shall not exceed 45 degrees.
- (7) No outdoor advertising or separate use sign or part thereof, shall be erected, used, or operated or maintained:
  - a. Within 150 feet of the nearest edge of the right-of-way of another intersecting right-of-way.
  - b. Within 200 feet of any church, school, cemetery, public park or public building.



- c. Overhanging a public right-of-way or a private road or drive.
  - d. Within 100 feet from any residentially zoned area.
- (8) Sign illumination shall not cause beams or rays of light to be directed to a roadway or adjacent properties. Flashing illumination such as, without limitation, flashing, running, or sequential lights are prohibited except as expressly provided herein.
- (9) Outdoor advertising or separate use signs shall be prohibited in areas where no roadway of any kind currently exists. Outdoor advertising or separate use signs shall only be permitted on roadways which are currently functioning as a bona fide roadway and are under the care and control of the Georgia Department of Transportation, Chatham County, Georgia, or under municipal control.
- (10) The following outdoor advertising or separate use signs are expressly prohibited unless specifically stated otherwise in this article:
  - a. Signs employing movement including, but not limited to, changeable copy signs, pennants, flags, banners, streams, propellers, discs, and search lights.
  - b. Signs that include lights which flash, blink, or turn on and off intermittently, but not including time and temperature signs.
  - c. Signs employing direct, indirect, internal, flashing, or other illumination with light sources or reflectivity of such brightness that constitute a hazard to ground or air traffic or a nuisance, as determined by the city manager.
  - d. Inflatable signs including, but not limited to, balloons.
  - e. Roof billboards which are erected or painted on a roof or which extend in height above the roof line of the building on which the sign is erected.
  - f. Any sign which may be confused with or obstruct the view of any authorized traffic sign or signal, obstructs the sight distance triangle at any street or highway intersection, or extends into the public right-of-way.
- (11) Extrusions beyond the face of any outdoor advertising or separate use sign, excluding aprons, are prohibited.
- (12) There shall be an initial inspection of outdoor advertising or separate use signs and reinspection every five years.
- (13) Trees may be cut, trimmed, or pruned in locating, erecting, or maintaining any outdoor advertising or separate use sign provided a tree removal permit is issued by the city.
- (14) With respect to outdoor advertising or separate use signs that contain alphanumeric characters, graphics, or symbols defined by a small number of matrix elements using different combinations of light-emitting diodes ("LED's"):
  - a.



Such signs shall contain static messages only, and shall not have movement nor flashing on any part of the sign structure, design, or pictorial segment of the sign, nor shall such sign have varying light intensity during the display of any single message.

- b. Each display on an electronic changeable message LED sign shall remain fixed for at least ten seconds.
- c. When a message on an electronic changeable message LED sign is changed, the change shall be accomplished in three seconds or less.
- d. Any electronic changeable message LED sign shall contain a default design that will freeze the display in one position or black screen if a malfunction occurs.
- e. No auditory message or mechanical sounds may be emitted from the sign.
- f. Electronic changeable message LED signs may not operate at brightness levels of more than 0.20 foot candles above ambient light levels as measured at the following distances:

SIGN SQ. FEET	DISTANCE
<300 feet	150 feet
301 feet—400 feet	200 feet

- g. The owner of said LED outdoor advertising or separate use sign shall annually provide a letter from an independent contractor certifying lumens compliance with the provisions of this Code Section.
- h. Each sign must have a light sensing device that will adjust the brightness of the display as the natural ambient light conditions change.
- i. No LED outdoor advertising or separate use sign shall be located within 2,500 feet of another LED billboard sign on either side of the road.
- j. Electronic changeable message LED signs shall meet the same installation and permitting requirements and inspections as set out for electrical signs and all other signs.
- k. The owner of said LED outdoor advertising or separate use sign shall coordinate with the local authorities to display, when appropriate, emergency information important to the traveling public including, but not limited to, Amber Alerts or alerts concerning terrorist attacks or natural disasters. Emergency information messages shall remain in the advertising rotation according to the protocols of the agency that issues the information.
- l.



The owner of said LED outdoor advertising or separate use sign shall provide the City of Garden City contact information for a person who is available to be contacted at any time and who is able to turn off the electronic sign promptly after a malfunction occurs. If, at any time more than 95 percent of the LED display lights malfunction or are no longer working, the owner of said LED sign shall make repairs to the sign within 60 days or the sign will require removal.

- m. If the City of Garden City finds that the LED outdoor advertising or separate sign causes a glare or otherwise impairs the vision of the driver of a motor vehicle, the owner of the sign, within 24 hours of a request by the city, shall reduce the intensity of the sign to a level acceptable to the city.
  - n. Each sign must comply with all Georgia Department of Transportation rules and regulations applicable to electronic changeable message signs where not in conflict with this article.
- (15) Each outdoor advertising or separate use sign shall have attached thereto a legend identifying the agent or agency responsible for the erection and maintenance of such sign. Such legend shall set forth the permit number issued by the zoning administrator for such sign.
- (16) Each outdoor advertising or separate use sign shall constitute a self-supporting structure erected on one pole permanently attached to a concrete foundation. The foundation shall be designed to carry the weight and windload of the sign, in the soil which it is placed. The sign's pole and supporting apparatus shall be fabricated only from painted or galvanized steel or metal. No portion of the supporting structure for the sign shall be visible above the advertising display area.
- (17) Every outdoor advertising and separate use sign, including its supports, braces, guys, and anchors, shall be maintained in a safe, presentable, and good structural material condition at all times, which includes the repair or replacement of defective parts, painting, repainting, cleaning, and other acts required for the maintenance of said sign. The surrounding premises of each sign shall be maintained in a clean, sanitary, and inoffensive condition, and free and clear of all obnoxious substances, rubbish, and weeds.
- (18) The advertising or copy area shall be replaced periodically to maintain good appearance. When the sign displays no advertising copy, its face shall continue to have a tight, closed, or solid surface concealing the sign's supporting apparatus, and shall be of a uniform color.

(Ord. No. 2012-5, § 1, 5-7-12; Ord. No. 2014-1, § 1, 3-3-14)

**Editor's note—** Ord. No. 2012-5, § 1, adopted May 7, 2012, repealed former § 90-174, and enacted a new § 90-174 as set out herein. Former § 90-174 pertained to the same subject matter and derived from Ord. of 1-6-97, § 2.



# City of Garden City Variance Application



## Development Information

Development Name (If applicable)

Property Address

1518 Old Dean forest rd

Current Zoning

Industrial

Current Use

None - billboard only

Parcel ID

6096301001

Total Site Acreage

9.8

Section of the zoning code from which you are seeking a variance:

Billboards/Signs Section 90-174 (Outdoor Advertising) #6

Describe the variance request you are requesting.

requesting to put another billboard on said Parcel ID

Would denial of this request create practical difficulty or an unnecessary hardship?

Yes, it would require to have to have plot surveyed and divided which is unnecessary time and cost accrued and considering this is the only use out of the property the owner can do it would create both practical difficulty and unnecessary hardship.

Does the property have extraordinary and exceptional conditions because of its size, shape or topography?

Yes the property is landlocked and there is no other use options for the property owner

Are the conditions of the property unique to this piece of property?

see above

Would approval of this variance request cause any detriment to adjoining properties or the community?

No

Please provide any additional information that you deem relevant.



# City of Garden City Variance Application



## Applicant Information

<b>Owner</b>	
<b>Name</b>	<b>Address</b>
Graham Outdoor Advertising LLC	730 west church street
<b>Phone</b>	<b>Email</b>
478-494-3965	grahamoutdooradvertising@msn.com
<b>Nature of Ownership Interest</b>	
Is the Owner an: <input type="checkbox"/> Individual <input type="checkbox"/> Partnership <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Firm <input type="checkbox"/> Corporation <input type="checkbox"/> Association	
Note: If a corporation, submit a list of officers, directors & major stockholders with name, address and title.	
If a partnership: Submit list of all partners with name, address and title.	
<b>Engineer/Surveyor</b> <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
<b>Phone</b>	<b>Email</b>
<b>Authorized Agent (Requires Authorized Agent Form)</b> <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Graham Outdoor Advertising LLC.	Jamie S Graham
<b>Phone</b>	<b>Email</b>
478-494-3965	grahamoutdooradvertising@msn.com
<b>Campaign Contribution</b>	
List below the names of local government officials, Garden City City Council, to whom campaign contributions were made, within two (2) years immediately preceding the filing of this application, which campaign contributions total \$250.00 or more or to whom gifts were made having a total value of \$250.00 or more.	
<b>Elected Official's Name</b>	<b>Amount or Description of Gift</b>

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Board of Zoning Appeals and that my application cannot be approved unless I am represented.

Jamie Shannon Graham  
Print Name

  
Signature

3/6/2023  
Date

OFFICE USE ONLY			
<b>Received By</b>		<b>Date Received</b>	<b>Case Number</b>
<b>Submission Format</b> <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		<b>Fee Amount Paid</b>	<b>Invoice Number</b>





GARDEN CITY  
PLANNING &  
ECONOMIC DEVELOPMENT

## MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 6, 2023  
**Re:** PC 2311 – 1518 Old Dean Forest Road, Garden City

<b>Application Type</b>	<b>Variance</b>
<b>Case Number</b>	PC2311
<b>Applicant</b>	Jamie S. Graham
<b>Name of Project</b>	Billboard
<b>Property Address</b>	1518 Old Dean Forest Road
<b>Parcel IDs</b>	60963 01001
<b>Area of Property</b>	8.3 acres
<b>Existing Zoning</b>	I-2
<b>Proposed Land Use</b>	Outdoor Advertising (Billboard)/Separate Use Sign

### GENERAL INFORMATION

**Project Description:** The applicant is requesting a variance from Section 90-174 to add a second billboard to the subject property.

**Background / Additional Context:** The Planning Commission approved a billboard on this property on September 13, 2022.

### FINDINGS

Section 90-174 permits only one outdoor advertising or separate use sign per platted lot. The petitioner has not demonstrated conditions which warrant approval of the variance request.

### RECOMMENDATION

Staff recommends denial of the variance request.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that a building permit must be issued before vertical construction shall commence.*







# City of Garden Site Plan Application



GARDEN CITY

## Development Information

### Development Name

CenterPoint Industrial Market

### Property Address

Anderson Avenue, Garden City

### Phased development?

If yes, indicate proposed number of phases:

☐ Yes ☒ No

### Parcel ID

### Total Site Acreage

### Zoning

60022 01001,01004,01005|60021 01001,01002,01003,01004,01005,01006

68.18

I-2

### Project Description

Extend Alfred Street to Garden City Property - Construct a +/-600,000 SF Class A Industrial Warehouse with paved container storage yard

### Water Supply

### Sewage Disposal

☒ Public ☐ Private

☒ Public ☐ Private

## Applicant Information

### Owner

#### Name

CenterPoint Properties

#### Address

1808 Swift Drive, Oak Brook IL 60523

#### Phone

757-630-7474

#### Email

bhollings@centerpoint.com

### Engineer/Surveyor

☒ Same as authorized agent

☒ Check here to receive staff review comments via email

#### Company Name

Thomas & Hutton Engineering

#### Contact (Individual Name)

Stan Fischer

#### Phone

912-547-1862

#### Email

fischer.s@thomasandhutton.com

### Authorized Agent (Requires Authorized Agent Form)

☒ Check here to receive staff review comments via email

#### Company Name

#### Contact (Individual Name)

#### Phone

#### Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Brian C. Hollings

Print Name

Brian C. Hollings

Signature

Digitally signed by Brian C. Hollings  
Date: 2022.11.15 17:51:25 -05'00'

2/2/23

Date

### OFFICE USE ONLY

#### Received By

#### Date Received

#### Case Number

#### Submittal Format

☐ Electronic ☐ Paper ☐ Both

#### Fee Amount Paid

#### Invoice Number





# MEMORANDUM

**To:** City of Garden City Planning Commission  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC2243 – CenterPoint Industrial Market

<b>Application Type</b>	<b>General Development Plan</b>
<b>Case Number</b>	PC2243
<b>Applicant</b>	CenterPoint Properties
<b>Name of Project</b>	CenterPoint Industrial Market
<b>Property Address</b>	Anderson Avenue (Alfred Street)
<b>Parcel IDs</b>	60022 01001, 60022 01004, 60022 01005, 60021 01001, 60021 01002, 60021 01003, 60021 01004, 60021 01005, 60021 01006
<b>Area of Property</b>	68.18 acres
<b>Current Zoning</b>	I-2
<b>Proposed Land Use</b>	Class A Warehouse and ancillary storage yard

## GENERAL INFORMATION

**Project Description:** The applicant is proposing to develop the property for a Class A warehouse and ancillary container storage yard. The warehouse is approximately 600,000 square feet, including 7,500 square feet of office space. The warehouse includes ± 130 dock doors, ± 4 drive in doors, ±159 trailer spaces, and ±136 vehicular parking spaces. The ancillary container yard provides ±260 trailer spaces on the property.

The legal name of the unopened right-of-way providing access to the property is Anderson Avenue; this is also the address location provided by Chatham County. However, the existing street is known as Alfred Street.

**Background / Additional Context:** This application was tabled at the Planning Commission meeting held on January 10, 2023, so the applicant could meet with the community. A community meeting was held at the Cooper Center on February 2, 2023.

The property is zoned I-2, which allows for the development of warehouses and ancillary container yards by right.



## FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-47, and the requirements of Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*

The applicant is proposing to develop the site for a warehouse and ancillary container storage. Stormwater will be managed with onsite detention ponds located in multiple locations around the property. The applicant revised the site plan to increase the setback between the storage yard and the residentially zoned properties adjacent to the development. The revised site plan illustrates the container storage yard on the eastern side of the property; the warehouse and support parking are on the western side of the property.

2. *Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*

The applicant is awaiting the approval of the general development plan by the Planning Commission prior to initiating architectural design. The applicant has provided the attached rendering as an example of the anticipated design. The applicant is requesting to submit the architectural design for approval by the City Manager.

3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*

Alfred Street will be extended to provide access to development. The intersection of Alfred Street and U.S. Highway 80 will be upgraded with a new dedicated turn lane into the Savannah Farmer's Market property. A through lane will provide access to the CenterPoint development and the City of Garden City property. Egress will be facilitated onto U.S. Highway 80 with dedicated turn lanes for right and left turns, as well as a through lane to continue onto 8<sup>th</sup> Street.

Access to the CenterPoint development will be provided through three access points from Alfred Street. Each access point will be gated, as shown on the plan.

Per the Garden City Subdivision Ordinance, Article III, Section 70.62, eight-foot sidewalks are required on both sides of the Alfred Street extension.

Comment: Staff supports modification of this requirement to include a ten-foot multi-use path between U.S. Highway 80 and the entry drive into the Garden City property along the north side of Alfred Street extension. Marked pedestrian crosswalks and pedestrian signage will be provided at the intersection of Alfred Street Extension and U.S. Highway 80 and at the intersection of the entry to the City of Garden City property. The path is currently illustrated at 8' in width. Staff recommends a minimum of 10' in width, which is the GDOT standard minimum with for a bidirectional multi-use path.

4. *Scale, design, and location of exterior signs.*

The proposed sign locations are indicated on the plan. All signs shall be in compliance with the City of Garden City sign ordinance.



5. *Fences, landscaping, and buffers.*

The landscape ordinance requires a 50' vegetated buffer adjacent to the residentially zoned properties. The applicant has provided an updated site plan and proposed landscaping plan, which consists of a dry pond with plantings, street trees along Alfred Street, and an 8' chain link fence with black slats adjacent to the warehouse and ancillary storage yard.

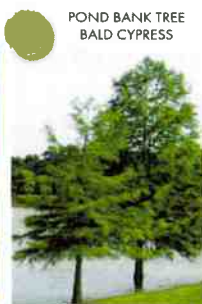
*Note:*

*Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.*





STREET TREE  
WILLOW OAK



POND BANK TREE  
BALD CYPRESS



8' FENCE  
WITH BLACK SLATS



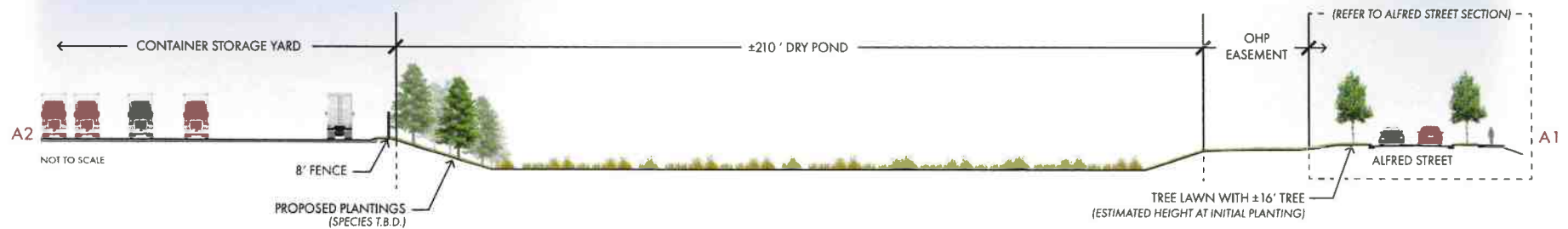
### EXISTING WETLANDS

NOTE: ALL BACKGROUND INFORMATION IS BASED ON CIVIL PLANS  
AND SUBJECT TO CHANGE BASED ON ACTUAL DESIGN.  
SPECIFIC TREE SPECIES TO BE DETERMINED. STREET TREE AND POND  
BANK TREE SHOWN FOR REFERENCE AND SUBJECT TO CHANGE.



NOTE: ALL BACKGROUND INFORMATION IS BASED ON CIVIL PLANS AND SUBJECT TO CHANGE BASED ON ACTUAL DESIGN.  
SPECIFIC TREE SPECIES TO BE DETERMINED. STREET TREE AND POND BANK TREE SHOWN FOR REFERENCE AND SUBJECT TO CHANGE.





CENTERPOINT PROPERTIES



THOMAS & HUTTON

FORMER FAWCETT SITE ILLUSTRATIVE - CONTAINER STORAGE YARD

GARDEN CITY, GA

JANUARY 30, 2023







# CENTERPOINT INDUSTRIAL MARKET SITE PLAN

GARDEN CITY, GEORGIA

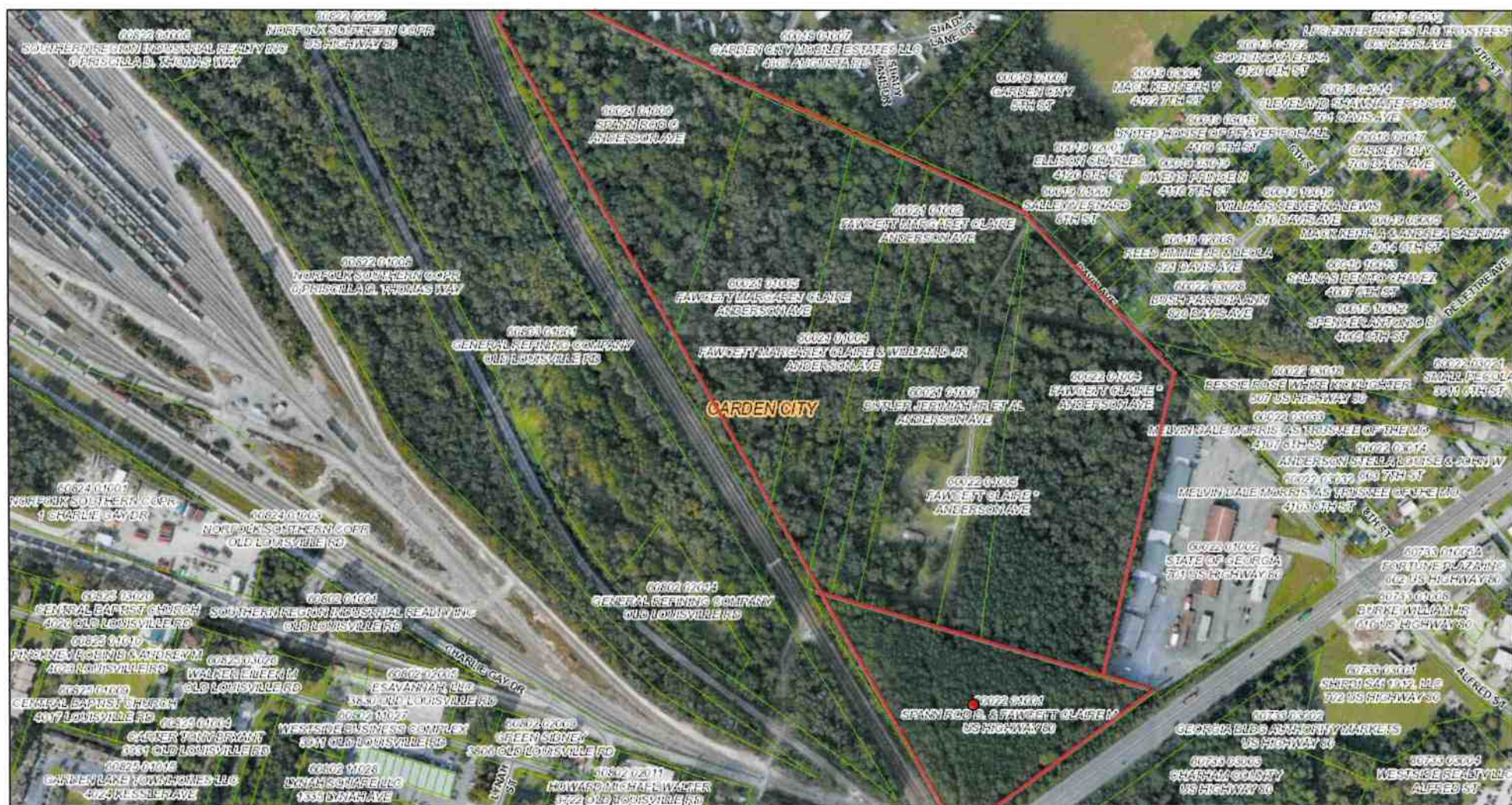


FEBRUARY 2, 2023











# City of Garden Subdivision Application



GARDEN CITY

## Development Information

Development Name (if applicable)

CenterPoint Industrial City Gardens

Property Address

2200 Dean Forest Road

Phased development?	If yes, proposed number of phases	Proposed Number of Lots (Total)
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3	8
Parcel ID	Total Site Acreage	Zoning
60986-01002	267.14	I-1/I-2
Project Description		

Three Warehouses and Two paved Container Yards.

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

## Applicant Information

Owner	
Name	Address
CenterPoint Properties	1808 Swift Drive, Oak Brook IL 60523
Phone	Email
757-6307-474	bhollings@centerpoint.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input checked="" type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Thomas and Hutton Engineering	Stan Fischer
Phone	Email
912-547-1862	fischer.s@tandh.com
Authorized Agent (Requires Authorized Agent Form)	<input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
CenterPoint Properties	Brian C. Hollings
Phone	Email
757-630-7474	bhollings@centerpoint.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Brian C. Hollings

Print Name

Brian C. Hollings

Signature

Digitally signed by Brian C. Hollings  
Date: 2023.01.26 11:13:07 -05'00'

1/26/23

Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC2308 – CenterPoint Industrial City Gardens

<i><b>Application Type</b></i>	<i><b>Preliminary Plat</b></i>
<i><b>Case Number</b></i>	PC2308
<i><b>Applicant</b></i>	CenterPoint Properties
<i><b>Name of Project</b></i>	CenterPoint Industrial City Gardens
<i><b>Property Address</b></i>	2200 Dean Forest Road
<i><b>Parcel IDs</b></i>	60986 01002
<i><b>Area of Property</b></i>	252.7 acres
<i><b>Proposed Number of Lots</b></i>	8
<i><b>Existing Zoning</b></i>	I-1/I-2
<i><b>Proposed Land Use</b></i>	Warehouses and Container Yards

## GENERAL INFORMATION

*Project Description:* The applicant is proposing to develop three (3) industrial warehouses and two (2) container yards.

*Background / Additional Context:* The Preliminary Plan for this development was approved by the Planning Commission on June 14, 2022.

## FINDINGS

The applicant is finalizing work in phase one of the development, which includes parcels 3 and 4 and the common areas. This work will be completed prior to the City Council meeting on April 3, when action by City Council is scheduled on the agenda.

## STAFF RECOMMENDATION

**Approval** of the final plat, pending the receipt of the engineer's certificate is provided in advance of final approval by City Council.



THIS SPACE RESERVED FOR THE  
CLERK OF SUPERIOR COURT

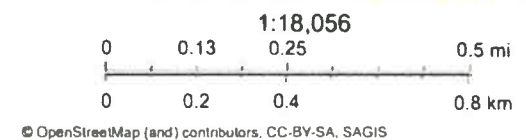
#### NOTES

1. FIELD EQUIPMENT USED FOR THIS SURVEY: SODAR, CHORUS RE.
2. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 66,747 FEET, AN ANGULAR ERROR OF 0" PER ANGLE POINT, AND HAS BEEN ADJUSTED USING THE COMPARISON METHOD.
3. ALL CORNERS MARKED WITH 5/8" IRON NAIL, 24" LONG WITH CAP STAMPED "TAC" (LAKESHORE OVERVIEW NOTES).
4. THIS PLAT HAS A PRECISION OF ONE FOOT IN 100,000 FEET.
5. COORDINATE AND SECTION ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
6. ACCORDING TO 1976 AND 1978, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 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2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192,





Municipal Boundary	PORT WENTWORTH	TYBEE ISLAND	Local Roads	Interstate
BLOOMINGDALE	SAVANNAH	VERNONBURG	Major Roads	Local Roads
GARDEN CITY	THUNDERBOLT	UNINCORPORATED	Parkways	Major Roads
POOLER				





# City of Garden General Development Plan Application



GARDEN CITY

## Development Information

Development Name

Goodship Logistics

Property Address

123 Beasley Rd. Garden City, Ga. 31408

Phased development?

☐ Yes ☒ No

If yes, indicate proposed number of phases:

Parcel ID

60988402004

Total Site Acreage

1

Zoning

P-I-2

Project Description

This project is being graded + filled for parking

Water Supply

☐ Public ☒ Private

Sewage Disposal

☐ Public ☒ Private

## Applicant Information

Owner

Name

Walter Clark

Address

123 Beasley Rd

Phone

912-657-5277

Email

Walter@goodshiplogistics.com

Engineer/Surveyor

☐ Same as authorized agent

☐ Check here to receive staff review comments via email

Company Name

Boswell Design Services

Contact (Individual Name)

Mark Boswell

Phone

912-897-6932

Email

Lahbas@bellsouth.net

Authorized Agent (Requires Authorized Agent Form)

☐ Check here to receive staff review comments via email

Company Name

Brewer Surveying

Contact (Individual Name)

Craig Brewer

Phone

912-856-2205

Email

craig@brewersurvey.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Print Name

Walter T. Clark

Signature

Walter T. Clark

Date

2-24-23

## OFFICE USE ONLY

Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number





# MEMORANDUM

**To:** City of Garden City Planning Commission  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC2307 – 123 Beasley Road

<b>Application Type</b>	<b>General Development Plan</b>
<b>Case Number</b>	PC2307
<b>Applicant</b>	Walter Clark
<b>Name of Project</b>	Goodship Logistics
<b>Property Address</b>	123 Beasley Road
<b>Parcel IDs</b>	60988A 02004
<b>Area of Property</b>	1.05 acres
<b>Current Zoning</b>	P-I-2
<b>Proposed Land Use</b>	Laydown yard

## GENERAL INFORMATION

*Project Description:* The site contains an existing residential structure which will be converted into an office. The remainder of the property will be filled and graded for a laydown yard. Stormwater will be managed with a new detention pond.

## FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-43, Designation of P districts, the following factors are to be considered for a General Development Plan review:

- Proposed uses and overall development plan.*  
The proposed use is allowed in I-2 zoning.  
Use (85) Storage yards: I-1, I-2. Such yards shall be completely enclosed by a fence, and no storage shall be permitted outside such fence. A landscape buffer shall be provided as specified in Section 90-262.
- Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*  
The existing house currently on the property will remain and be converted into an office.





3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*  
Access is provided via Beasley Road. Parking will be located adjacent to the office.
4. *Scale, design, and location of exterior signs.*  
Any signage shall be in compliance with the City of Garden City sign ordinance.
5. *Fences, landscaping and buffers.*  
The landscaping plan indicates new live oak trees to be planted on the east side of the property. Additional foundation plantings will be added to the front of the office. The applicant is proposing a 6' chain link security fence around the property. The ordinance requires a landscape buffer along the roadway frontage.

#### **RECOMMENDATION**

**Approval** of the General Development Plan with the addition of a landscape buffer along Beasley Road.

**Note:**

*Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.*



Goodship Logistics, LLC  
123 Beasley Rd, Garden City Georgia

Members of Planning Commision-

We at Goodship Logistics would like to respectfully offer our planned use for the submitted property.

We are a small company with 4 employees and 6 drivers. Our use will be to store chassis and containers we have pulled from the port. We will then have the freight delivered and the trailers stored in our yard again until we return them to the port.

Our business hours are from 7 AM - 6 PM Monday through Friday. We will not have trucks idling overnight at the property. The office will only be used for the staff as we do not have customers that come to us.

We operate a clean neighborly business with an eye towards community improvement. Our business is the same as our neighbors at 1636 Dean Forest Rd with whom we have a good relationship.

Best regards,



Owner  
Goodhip Logistics, LLC







(D-2)

DCW RENTAL LLC

1710 DEAN FOREST RD

6092401055  
DCWRENTALLLC  
1712/DEAN FOREST RD

314 04

60988A01004

DCW RENTAL LLC

104 BEASLEY RD

60988401005

MORGAN DENNIS W

BEASLEY RD

6098840.1006

MORGAN DENNIS IV

124 BEASLEY RD

60988A02002

HENDRIX JAMES RAMIREZ

137 BEASLEY RD

60988A02004

COLLINS &amp; RISER-COLLINS MICHAELA &amp; CFCI

123 BELLEVUE RD

60988402003

BLANTON BOBBY R & LINDA G\*

425 BEASLEY RD

60988A02006

STRICKLAND WILLIAM L &amp; PATH

1630 DEAN FOREST RD

609884020104

## TIG PROPERTIES

1624 DEAN FOREST RD

60988A02007

STRICKLAND WILLIAM L &amp; PATRICI

1622 DEAN FOREST RD

60988402008

STICKLAND WILLIAM L &amp; PATRICIA

1626 DEAN FOREST RD

6088A02009

DANIEL ALAN YEOMANS &amp; KEVIN E. SMITH AND

1620 DEAN FOREST RD

60988402010

KCM PROPERTIES LLC

DEAN FOREST RD



# City of Garden Site Plan Application



## Development Information

<b>Development Name</b>		
5440 August Rd Car Wash		
<b>Property Address</b>		
5440 August Rd		
<b>Phased development?</b> <span style="float: right;"><b>If yes, indicate proposed number of phases:</b></span>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<b>Parcel ID</b>	<b>Total Site Acreage</b>	<b>Zoning</b>
60818 01010	0.85	C-2
<b>Project Description</b>		
Car WASH		
<b>Water Supply</b>		<b>Sewage Disposal</b>
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private		<input type="checkbox"/> Public <input type="checkbox"/> Private

## Applicant Information

<b>Owner</b>	
<b>Name</b>	<b>Address</b>
Devang Chande	106 Decker Drive Pooler, GA 31322
<b>Phone</b>	<b>Email</b>
678-200-0269	devangchande80@gmail.com
<b>Engineer/Surveyor</b> <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Jay Maupin - Maupin Engineering, Inc	Jay Maupin
<b>Phone</b>	<b>Email</b>
912-235-2915	jay@maupinengineering.com
<b>Authorized Agent (Requires Authorized Agent Form)</b> <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Dewitt Tilton Group	Chris Tilton - Kim Thomas
<b>Phone</b>	<b>Email</b>
912-777-3404	kim@dtg-inc.net

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Kim Thomas	Kim Thomas	Digitally signed by Kim Thomas Date: 2023.01.20 13:01:44 -05'00'	1/20/2023
Print Name	Signature		Date

OFFICE USE ONLY			
<b>Received By</b>		<b>Date Received</b>	<b>Case Number</b>
<b>Submittal Format</b> <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		<b>Fee Amount Paid</b>	<b>Invoice Number</b>





# MEMORANDUM

**To:** City of Garden City Planning Commission  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC2309 – 5440 Augusta Road Car Wash

<b>Application Type</b>	<b>General Development Plan</b>
<b>Case Number</b>	PC2309
<b>Applicant</b>	Dewitt Tilton Group
<b>Name of Project</b>	5440 Augusta Road Car Wash
<b>Property Address</b>	5440 Augusta Road
<b>Parcel IDs</b>	60801 07001A
<b>Area of Property</b>	0.85 acres
<b>Current Zoning</b>	C-2
<b>Proposed Land Use</b>	Car wash

## GENERAL INFORMATION

**Project Description:** The applicant is proposing to demolish the existing structure to build a new car wash.

**Background / Additional Context:** This location was previously the site of Sonic restaurant.

## FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-43, Designation of P districts, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan.*

The proposed use is permitted in C-2 zoning.

Use (46) Automobile service station, including automobile washeteria: R-I-N(B), C-1, C-2, C-2A, C-2A(B & W), I-1.

The following regulations shall apply to this use:

- Major auto repair shall not be permitted.
- Gasoline pumps and service areas for gasoline pumps shall not be permitted within the required front yard setback established for the particular class of street in the zoning district within which the service station is located.
- All service, storage or similar activities connected with such use shall be conducted entirely on the lot on which such use is located.





2. *Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*

The applicant has provided building elevations. The proposed façade will be stucco with stone tile and aluminum accents. The building colors have not been selected yet, but will be neutral according to the applicant.

3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*

The site will have access to Highway 21 (Augusta Road) via an access easement. An additional access point is provided via an access easement to State Route 307 (Dean Forest Road). Both access points provide right-in, right-out access onto the state highways.

The internal site circulation is designed to facilitate one-way traffic.

4. *Scale, design, and location of exterior signs.*

A new sign is proposed on the southwest corner of the property, adjacent to State Route 21.

5. *Fences, landscaping and buffers.*

The applicant has provided the required landscape plan, which includes the preservation of five existing trees and planting of additional trees and shrubs in compliance with the landscape ordinance. Vegetated screening is provided around the dumpster. A structured enclosure will also be required.

## **RECOMMENDATION**

### **Approval of the General Development Plan.**

#### **Note:**

*Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.*



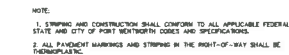
1. **FILE #** AMR1801919  
**ADDRESS** 3440 AUGUSTA ROAD  
 GARDEN CITY, CA 91404  
 2. **CONSTRUCTION TYPE/LOCATION**  
**NO** 2378077  
**WC** 81-160030  
 3. **TOTAL LAND ACRESAGE** = 0.0165 AC  
**TOTAL DISTURBED ACRESAGE** = 0.0165 AC  
 4. **EXISTING USE OF PROPERTY** DRIVE-IN RESTAURANT  
**PROPOSED USE OF PROPERTY** CARWASH  
**PRESENT SITE ZONING** L-C-2  
 5. **PROPERTY BEING DEVELOPED** IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP # 130510050G, DATED 01/12/2016  
 6. **THE SITE IS SERVED BY THE GARDEN CITY WATER AND SANITARY SEWER SYSTEM**  
 7. **PAVING AREA CALCULATION:**  
 REQUIRED: 30 STANDARD CURB/CHIMNEY  
 PROVIDED: 30 STALLS PROVIDED  
 8. **STREET LIGHTING PLAN TO BE PROVIDED SEPARATELY**

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER SPECIFICATIONS AND REQUIREMENTS. THE CONTRACTOR SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. THE WATER SERVICE LATERAL, SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR AT THE PROPERTY LINE. THE CITY OF SAVANNAH WILL ONLY BE CAPABLE OF TAPING THE CITY WATER MAIN WITHIN THE WATER SERVICE LATERAL.
3. ALL MATERIALS USED AND COMING INTO CONTACT WITH WATERSHED WATER DURING ITS DISTRIBUTION SHALL NOT BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARD INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 60.
4. IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTING TO THE CITY MAIN.
5. ALL EXCESS MATERIALS SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE A HAZARD TO THE PUBLIC. ALL MATERIALS SHALL BE KEPT OFF THE ROAD AND AWAY FROM THE CURB. ALL EXCESS MATERIALS, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
6. ANY EXISTING, DAMAGED, OR EXCESSIVE PIPE SHALL BE REJECTED. ALL FOREIGN WATER OR DIRT SHALL BE REMOVED FROM THE WATER LINE PRIOR TO THE CONNECTION OF THE NEW WATER LINE. THE EXISTING AND PRESENT DIRT ON UNDISTURBED JOINT SPACE, CURING MATERIALS, OR OTHER PIPE LAYING IS NOT IN COMPLIANCE WITH THE CITY OF SAVANNAH SPECIFICATIONS. ALL EXCESSIVE MATERIALS SHALL BE KEPT OFF THE ROAD AT BOTH ENDS OF THE LINE BEING Laid, NO TRUCKS WATER SHALL BE PERMITTED TO ENTER THE WATER LINE.
7. CLEAN THE INTERIORS OF ALL PIPES BY BRUSHING, SANDING OR WASHING OUT OF ALL DIRT BEFORE PLACING THE NEW PIPE LINES UNDER THE WATER MAINS GRAB AT THE END OF ALL MAINS AND WATER LINES.
8. FLUSH THE NEW PIPE LINES WITH WATER TO REMOVE ALL DIRT AND DEBRIS FROM THE PIPES. USE A MINIMUM OF 100 GPM FLOW TO OBTAIN A FLUSHING VELOCITY OF 2.5 FT/SEC. FLUSH LINES UNTIL WATER RUNS FREE OF ALL DIRT AND DEBRIS.
9. ANY NEW OR MATERIALS REMOVED FROM THE SITE SHALL BE RETURNED TO THE CONVEYANCE AND DESTROYED.
10. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MAINTAINED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
11. WATER USED FOR CONSTRUCTION SHALL BE REFERRED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE TO THE CITY OF SAVANNAH WATER DEPARTMENT FOR DISTRIBUTION DEPARTMENT.
12. ALL ABANDONED WATER LINES SHALL BE CAPED AT THE MAIN AND THE PIPES PLUGGED.
13. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE WATER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-8" AVOIDANCE FROM PIPE CONTIGUOUS TO EASEMENT.
14. CONTACT THE UTILITIES PROTECTION CENTER (801 IN GEORGIA OR 1-800-882-7411) FOR LOCATION OF CITY WATER MAINS.
15. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY AFFECT THE SERVICE OF ANY WATER MAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SERVICE, DRIVEWAY CUT, REMOVAL/RELOCATION OF FENCES AND BARRIERS, SIGNAGE, TRAFFIC IMPACTS, ETC.

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL IS PLACED WITHIN THE SITE.
3. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW-PREVENTION DEVICE AND FIRE HYDRANT WATER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
4. ALL ABANDONED SANITARY SEWER LINES SHALL BE PLUGGED.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT BOUNDARY.
6. THE CONTRACTOR THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING LIMITATIONS, LOSS OF ACCESS, TRAFFIC CONTROL, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALKS, DRIVEWAYS, ETC., ETC.

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CURRENT GARDEN CITY DESIGN STANDARDS, SPECIFICATIONS AND DETAILS OR AS OTHERWISE ISSUED FOR THIS PROJECT. WHERE ANY CONFLICT EXISTS BETWEEN THE TECHNICAL SPECIFICATIONS AND THE GARDEN CITY DESIGN STANDARDS AND THE GARDEN CITY STANDARDS, SPECIFICATIONS, DETAILS AND DEVELOPMENT ORDINANCES, THE GARDEN CITY STANDARDS SHALL PREVAIL.
1. LAYOUT TO BE CONTROLLED BY EXISTING BENCHMARK.
2. DIMENSIONS TO CURBS AND GUTTER ARE TO FACE OF CURB.
3. DIMENSIONS TO WALK ARE TO FACE OF WALK.
4. DIMENSIONS TO BUILDING ARE TO FACE OF BUILDING.
5. DIMENSIONS TO STRIPS TO BE OTHERWISE OF STRIPING.
6. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
7. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
8. BLUE MILE REFLECTIVE SIGN AT LEAST 12" IN WIDTH AND 18" IN LENGTH AND ERECTED AT 7' ABOVE GRADE IN THE CENTER OF THE ROADWAY TO THE PARALLEL VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES AND CENTERED THE FOLLOWING WORDS: "PERMITS PARKING ONLY", "TWO-WAY ONE WAY" AND "MAXIMUM FINE \$500.00." SUCH SIGNS SHALL ALSO DISPLAY THE WORDS "NO PARKING" OR "NO STOPPING" CENTERED BETWEEN THE SECOND AND THIRD LINE. VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH THE FOLLOWING WORDS: "VAN ACCESSIBLE".
9. TRAFFIC CONTROL DEVICES SHALL BE USED ON ALL WORK ON THIS PROJECT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. THE COST TO COMPLY SHALL BE INCLUDED IN THE OVERALL COST OF THE PROJECT.
10. REFERENCE SURVEY:

11. BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED BY MTR, SURVEY 10/22/2.
12. VERTICAL DATUM: NAVD83 HORIZONTAL DATUM: NAD83
13. PLANNED OR EXISTING PLANE COORDINATES: NONE
14. MAJOR ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR ACCURACY OF PROVIDED SURVEY INFORMATION.
15. ONLY ABOVE-GROUND, READILY VISIBLE STRUCTURES, UTILITIES AND SURFACE-PAINT MARKINGS WERE LOCATED BY THE SURVEY. THE SURVEY MAKES NO WARRANTY OR GUARANTEE AS TO LOCATION, EXISTENCE, OR NON-EXISTENCE OF ANY BELOWGROUND, NON-VISIBLE UTILITIES OR STRUCTURES.
16. THE CONTRACTOR SHALL FIELD VERIFY LOCATION, TYPE, SIZE, MATERIAL AND GENERAL CONDITION OF ALL LOCATED ITEMS PRIOR TO CONSTRUCTION.
17. ALL GRADED EARTH NOT OTHERWISE STABILIZED WITH BULDOZING, PAVEMENT OR VEGETATION SHALL BE GRASSED TO MATCH EXISTING TOPOGRAPHY.
18. OWNER SHALL ACCEPT MAINTENANCE OF THE STORM DRAINAGE SYSTEM, INCLUDING ROOF DRAIN CONNECTIONS, WITHIN THE LIMITS OF THE PROPERTY. GARDEN CITY WILL NOT MAINTAIN THE STORM DRAINAGE SYSTEM WITHIN THE PROPERTY. THE SITEFEE DESIGNED TO DISCHARGE STORM WATER RUNOFF INTO THE APPROVED MAINTENANCE AREA.
19. DITCHES, ALL DRAINAGE STRUCTURES, DEVICES AND PAVEMENT ELEVATIONS SHALL BE SURVEYED FOR "AS-BUILT" DRAWINGS ALONG WITH THE WATER AND SANITARY SEWER SERVICES.
20. ADJUST EXISTING MANHOLE FRAMES, GRATES AND VALVE BOXES TO GRADE AS NEEDED.
21. ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
22. MATCH EXISTING PAVEMENT GRADE ELEVATIONS WHERE CONNECTING TO EXISTING PAVEMENT.
23. FILL BENEATH BUILDINGS SHALL BE COMPACTED IN ACCORDANCE WITH BUILDING STRUCTURAL SPECIFICATIONS.
24. CONTRACTOR TO FIELD VERIFY DURING CONSTRUCTION ANY EXISTENCE OF SUB-SURFACE DEBRIS OR ORGANIC MATERIAL. ANY SUB-SURFACE DEBRIS OR ORGANIC MATERIAL FOUND SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 18" AND EITHER REMOVED OR COMPACTED TO MEET THE MINIMUM DEPTH OF FOOTINGS FOR BUILDINGS. (CONTRACTOR SHALL CONSULT WITH BUILDING STRUCTURAL ENGINEER FOR ANY VIBRE BEHIND OR ADJACENT TO BUILDING ANCHORS ABOVE OR BELOW GRADE STRUCTURES). IF EXCESSIVE DEBRIS OR ORGANIC MATERIAL IS FOUND, ANCHOR SHALL BE CONTACTED FOR INSPECTION. REMOVAL OF INSPECTED MATERIAL SHALL BE DIRECTED BY THE ENGINEER.
25. ALL EROSION AND SEDIMENT CONTROL DEVICES (BMP'S) SHALL BE CONSTRUCTED IMMEDIATELY WITHIN THE DITCHED AREA AND MAINTAINED THROUGHOUT CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE ARES ARE STABILIZED IN ACCORDANCE WITH THE GOVERNMENT EROSION CONTROL PERMIT.
26. IF A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE PERMIT AND TO MAINTAIN THROUGHOUT CONSTRUCTION.
27. THE GARDEN CITY INSPECTOR'S DEPARTMENT RESERVES THE RIGHT TO ACCESS PROPERTY TO INSPECT STORM WATER FACILITIES AT ANY TIME.
28. CHAOTIC, DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
29. TOLERANCE: CONTRACTOR AND FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
30. A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL INSTALLED OR RELOCATED UTILITIES AND LARGE AND MEDIUM TREES.
31. ANY AND ALL STREET LIGHTING, LANDSCAPE, SIDEWALKS AND ACCESSIBILITY REQUIREMENTS TO BE PERFORMED, DESIGNED AND FLOWER CONSTRUCTED IN ACCORDANCE WITH THE CITY OF GARDEN CITY.
32. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR THE ROOF DRAIN SYSTEM. COLLECTION AND DISCHARGE SHALL BE COORDINATED WITH CIVIL ENGINEER.
33. SITE CIVIL PLANS SHALL TERMINATE 5' FROM BUILDING FACE UNLESS OTHERWISE NOTED. CONTINUATION OF WATER, SANITARY SEWER AND STORM DRAINAGE LATERALS SHALL BE COORDINATED WITH BUILDING STRUCTURAL ENGINEER IN ACCORDANCE WITH ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
34. ALL CONSTRUCTION MATERIALS AND WORKSMANSHIP SHALL BE IN ACCORDANCE TO THE APPROPRIATE CITY OF GARDEN CITY CONSTRUCTION SPECIFICATIONS.
35. THE OWNER, OWNER'S REPRESENTATIVES, GARDEN CITY AND OTHER REGULATORY AGENCIES SHALL HAVE THE RIGHT TO ACCESS THE SITE AT ANY TIME FOR PURPOSES OF OBSERVING WORK PERFORMED.
36. ALL UTILITIES ARE SHOWN AS APPROXIMATE ON THE PLANS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. SOME UTILITIES AND SERVICE LINE LOCATIONS ARE UNKNOWN AND NOT SHOWN ON THE PLANS. THIS DOES NOT RELEASE THE CONTRACTOR FROM THE RESPONSIBILITY TO PROTECT EXISTING UTILITIES AND FACILITIES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A VALID UTILITY LOCATION TIC FROM THE GEORGIA UTILITIES PROTECTION CENTER (800) 662-283-7411, AND COORDINATION WITH OTHER SUCH LOCAL UTILITIES AS MAY BE REQUIRED.
37. THE CONTRACTOR WILL PROTECT ALL TREES NOTED TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION ZONE. ANY UNAUTHORIZED REMOVAL OF TREES NOTED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REESTABLISH TO THE SATISFACTION OF THE ENGINEER.
38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL BULKWASH MATERIAL NECESSARY FOR THE CONSTRUCTION OF THE STORM DRAINAGE SYSTEM. THE CONTRACTOR SHALL MAINTAIN A MINIMUM CAPACITY OF 25,000PSF OR AS OTHERWISE SPECIFIED.
39. ALL ITEMS CLEARING OR DISMOUNTED FROM THE SITE, INCLUDING SOIL MATERIAL TO BE REMOVED FOR OFF-SITE DISPOSAL, SHALL BE THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED ON THE SITE OR OTHERWISE NOTED. NO BURNING OR BURNING OF DEBRIS WILL BE ALLOWED ON THIS SITE.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL DESIGN AND CONSTRUCTION".



## ADA HANDICAP PARKING SPACE STRIPING DETAIL



CONTRACTOR IS REQUIRED TO CALL  
AT LEAST 3 DAYS PRIOR TO  
START OF CONSTRUCTION

[illegible]

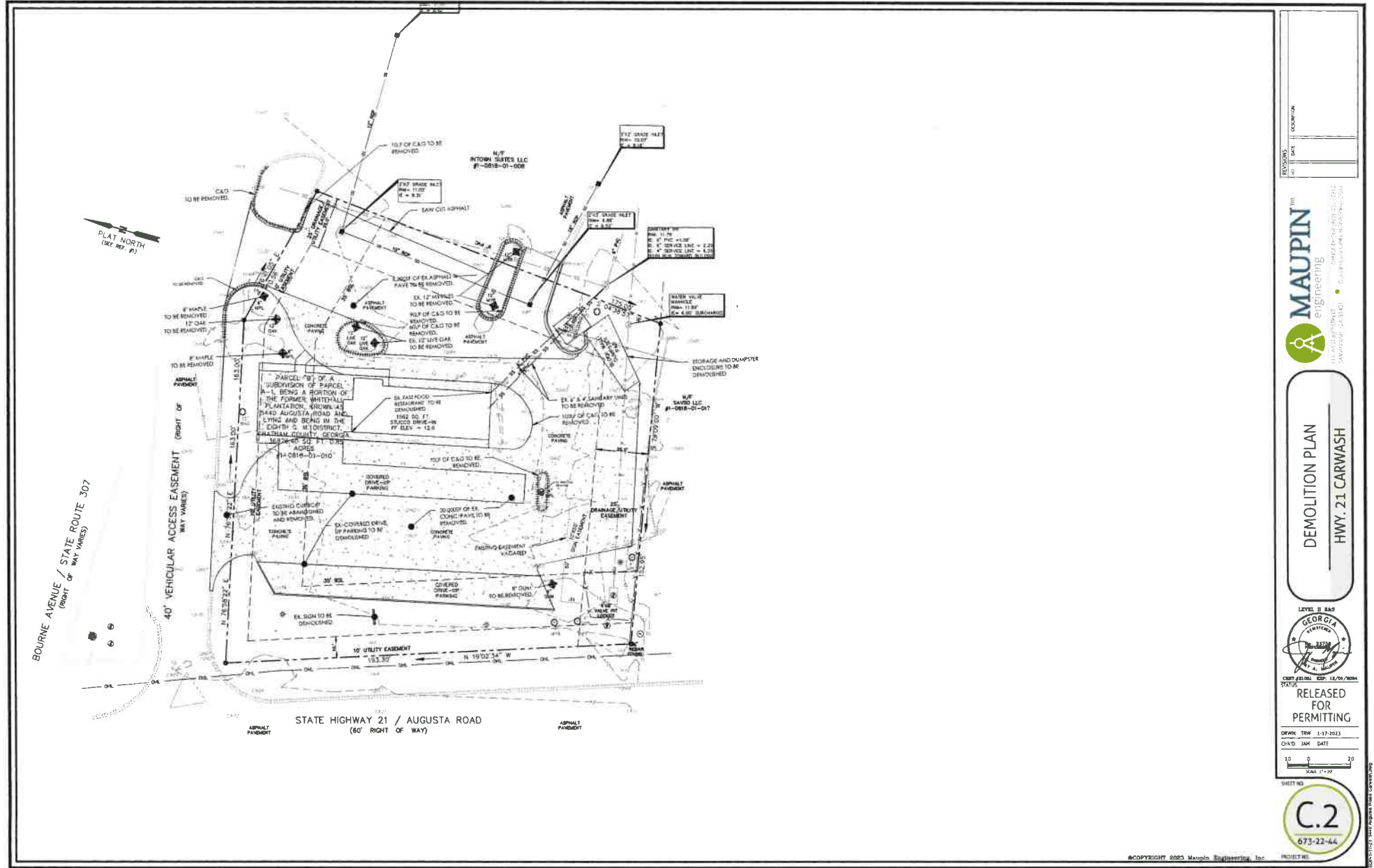
OFFICE PHONE (912) 235-2915  
GENERAL@AUPNEENGINEERS.COM

C.1	COVER - NOTES
C.2	DEMOLITION PLAN
C.3	STAKING PLAN
C.4	UTILITY PLAN
C.5	GRADING PLAN
C.6	LANDSCAPING PLAN
C.E1	EROSION CONTROL PLAN - INITIAL
C.E2	EROSION CONTROL PLAN - INTERMEDIATE
C.E3	EROSION CONTROL PLAN -FINAL
C.D1-D3	DETAILS

NO.	DATE	DESCRIPTION
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REVISION	DATE	DESCRIPTION
1		

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115.402.8877/115.402.8878  
115.402.8877/115.402.8878  
115.402.8877/115.402.8878

**DEMOLITION PLAN**  
**HWY. 21 CARWASH**



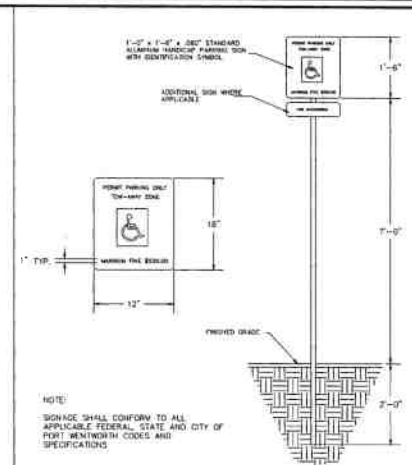
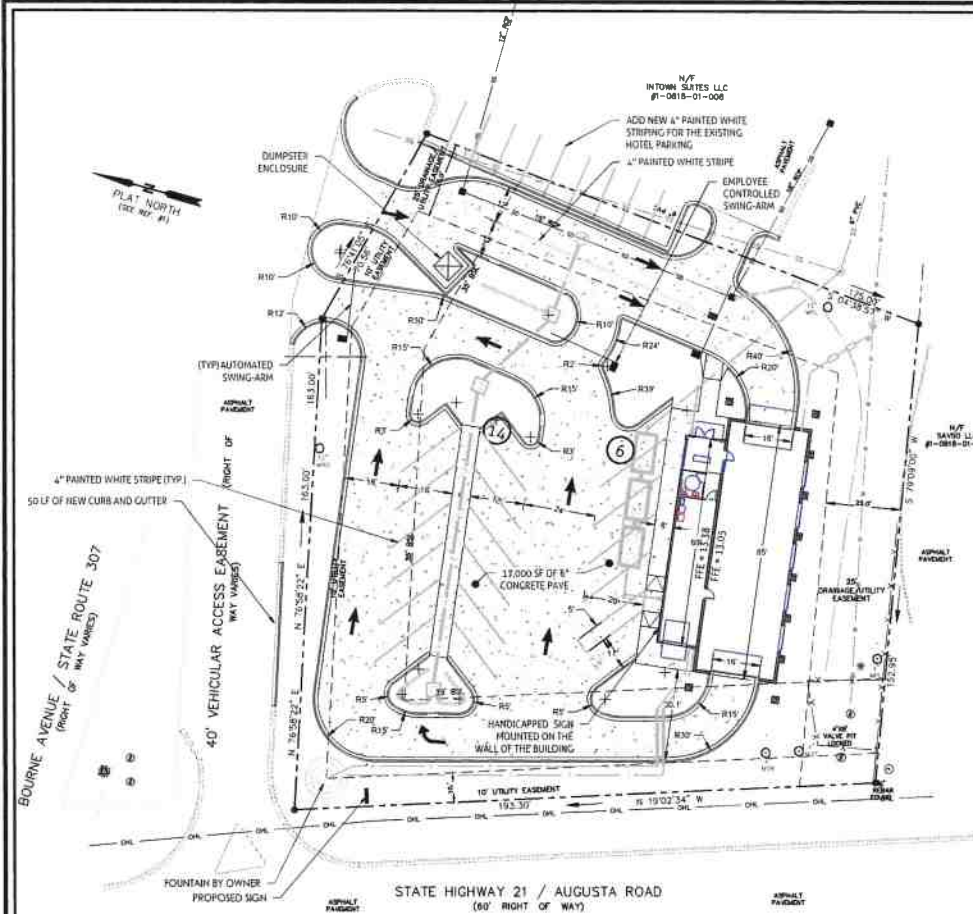
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DATE: 1-17-2023  
CHKD: JAM DATE

SCALE: 1"=20'

SHEET NO. **C.2**  
673-22-44

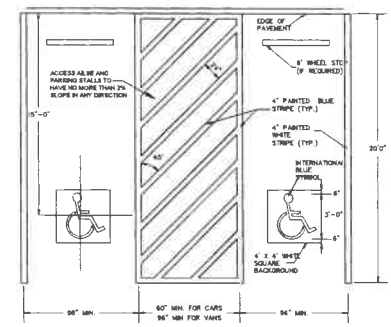




STANDARD CONSTRUCTION  
DETAILS

HANDICAP PARKING SIGN DETAIL

—ACCESSIBLE ROUTE ( MIN. 48" WIDTH )—



NOTE:  
1. STRIPING AND CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND CITY OF PORT MENTWORTH CODES AND SPECIFICATIONS.  
2. ALL PAVEMENT MARKINGS AND STRIPING IN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.

STANDARD CONSTRUCTION  
DETAILS

ADA HANDICAP PARKING SPACE STRIPING DETAIL

REVISIONS

NO.	DATE	DESCRIPTION

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engineering

1111 4TH ST. N. #100  
JACKSONVILLE, FL 32202  
904.444.4444

STAKING PLAN

HWY. 21 CARWASH

LEVEL 2 BAS

**GEORGIA**  
REGISTERED  
PROFESSIONAL ENGINEER  
No. 12228  
J. A. MAUPIN

CREATED: SEP. 16/24/2024  
STATUS: **RELEASED FOR PERMITTING**

DRAWN: TZW 1-17-2023  
CHECKED: JAM DATE  
SCALE: 1"=20'

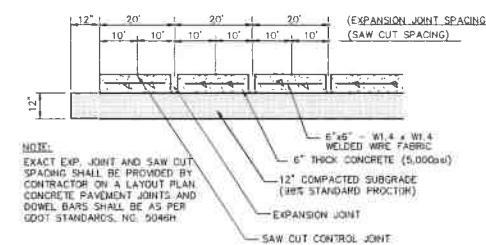
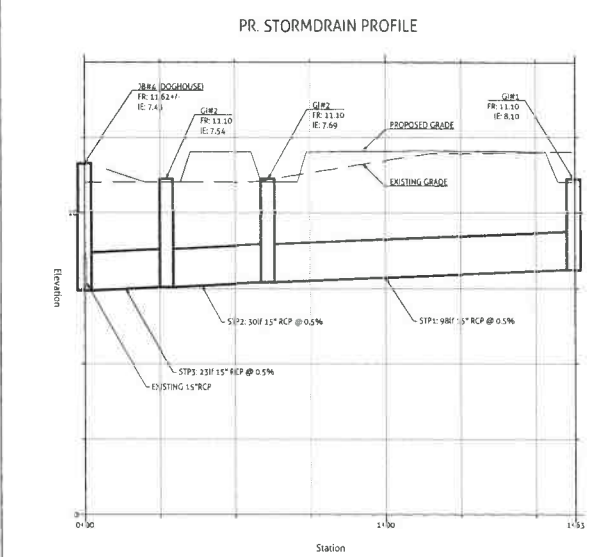
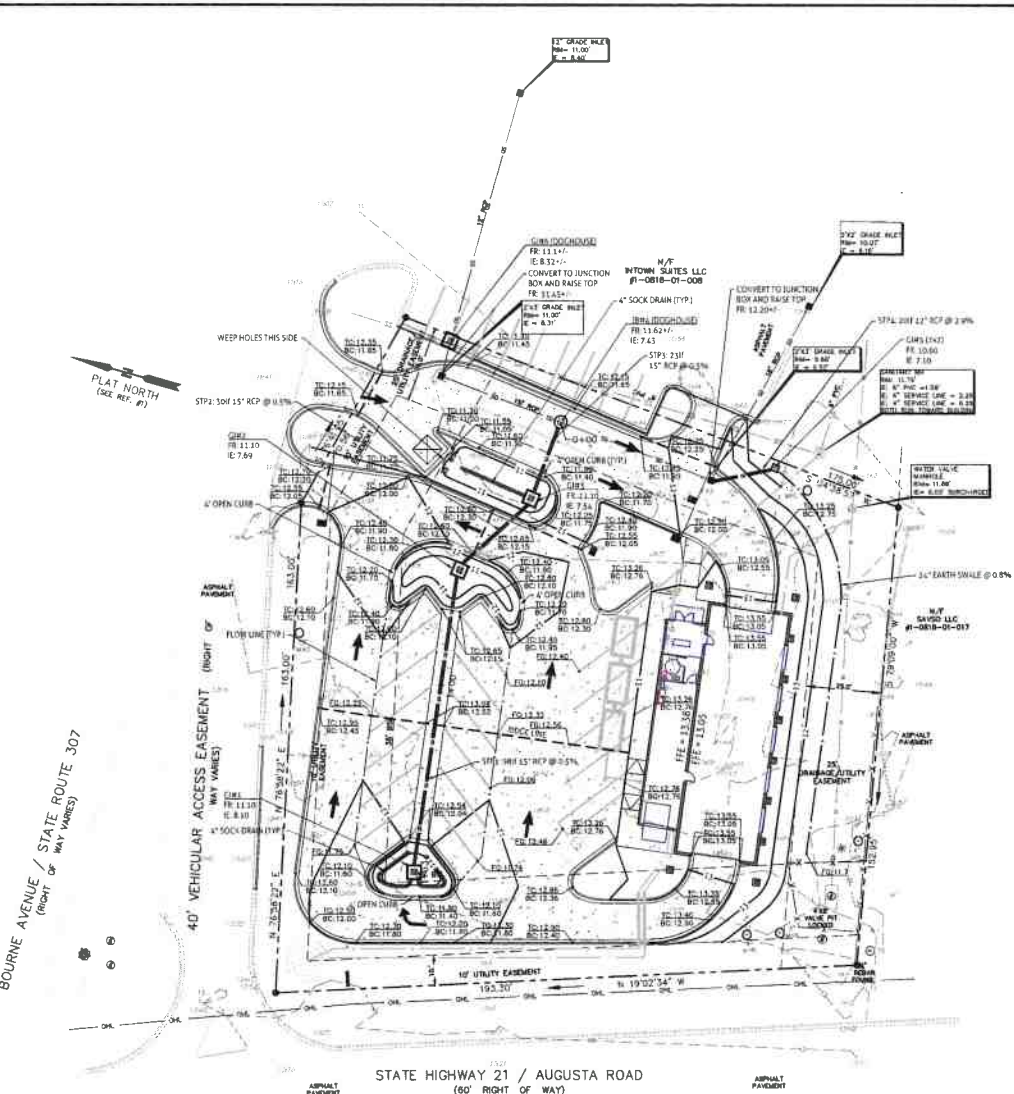
**C.3**  
673-22-44

PROJECT NO.









**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

**Designer's Certification Statement**

I, Jay Maupin, am a professional engineer registered in the State of Georgia, and am familiar with the requirements of GARDEN CITY Stormwater Management Ordinance, GARDEN CITY Local Design Manual, GARDEN CITY Flood Protection Ordinance, GARDEN CITY Subdivision Ordinance, GARDEN CITY Erosion and Sediment Control Ordinance, hydraulic engineering principles, and low impact design/green infrastructure design practices.

The attached design plans, Stormwater Management Regural, and Stormwater Management Operations and Maintenance Plan for the site development known as HWY. 21 CARWASH located at 5442 AUGUSTA ROAD, Garden City, GA 31407 are designed in compliance with the Local Design Manual of GARDEN CITY, GARDEN CITY Stormwater Management Ordinance, GARDEN CITY Flood Protection Ordinance, GARDEN CITY Subdivision Ordinance, and GARDEN CITY Erosion and Sediment Control Ordinance.

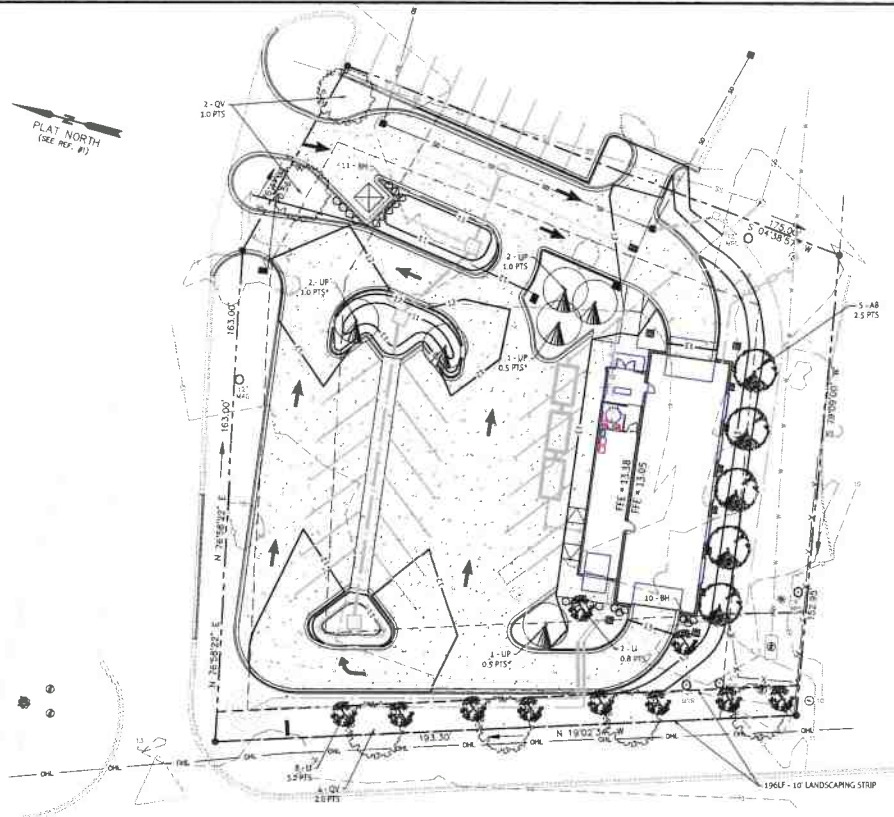
Further, when constructed according to the design plans, and operated according to the facility Stormwater Operations and Maintenance Plan, the facility will function in compliance with the Local Design Manual of GARDEN CITY, GARDEN CITY Stormwater Management Ordinance, GARDEN CITY Flood Protection Ordinance, GARDEN CITY Subdivision Ordinance, and GARDEN CITY Erosion and Sediment Control Ordinance.

Name: Jay Maupin, PE  
Address: 114 W. 42nd St.  
City/State/Zip: Savannah, GA 31401  
Daytime Telephone Number: 912-235-2915  
Email Address: jay@maupinengineering.com  
Signature: [Signature]  
Date: 11/20/23

Seal: [Seal]

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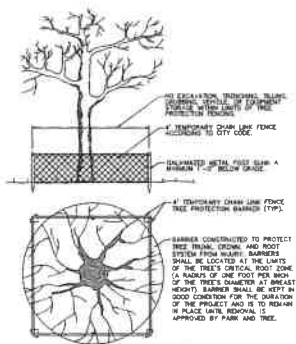


LANDSCAPING REQUIREMENT CALCS		
Total Parcel Area, TA	0.85	Acres
Greenscape	0.00 (%)	Acres (%)
Building Width, BW	40	Feet
Parking Spaces, PS	20	Spaces
PL to ROW Length, LF	193	Linear Feet
Buffer Area, BA	0.00	Acres
Net Parcel Area, TAN (TA - BA)	0.85	Acres
Site Density Required (Flora * 10 units/acre)		
Parking Trees Required (PS / 5 spaces)	4	Trees
Landscape Strip Canopy Trees Required (LF * 1 Tree/250 ft)	4	Trees
Landscape Strip Understory Trees Required (LF * 1 Tree/25 ft)	8	Trees
Building Landscape Strip Understory Req'd (BW * 1 Tree/25 ft)	2	Trees
Building Landscape Strip Shrubs Req'd (BW * 1 Evergreen Shrub/4 ft)	10	Shrubs
Total Tree Density Preserved		
Total Tree Density Planted	12.5	Units
Total Tree Density Points	13.7	Units
Parking Trees Provided *	4	Trees*
Landscape Strip Canopy Trees Provided	4	Trees
Landscape Strip Understory Trees Provided	8	Trees
Building Understory Trees Provided	2	Trees
Building Evergreen Shrubs Provided	10	Shrubs

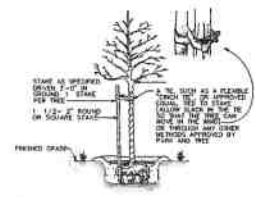
Landscape Requirement Met

PLANTING SCHEDULE						
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	UNITS
BH	BUXUS HARLANDII	HARLAND BOXWOOD	21	24" HEIGHT	3' O.C.	...
LI	LAGERSTROEMIA INDICA	GRAPE MYRTLE	10	1.0" CALIPER	AS SHOWN	4.0
UP	ULMUS PARVIFOLIA	LACEBARK CHINESE ELM	6	2.5" CALIPER	AS SHOWN	3.0
AB	ACER BARBATUM	FLORIDA MAPLE	5	2.5" CALIPER	AS SHOWN	2.5
QV	QUERCUS VIRGINIANA	LIVE OAK	6	2.5" CALIPER	AS SHOWN	3.0
TOTAL						12.5

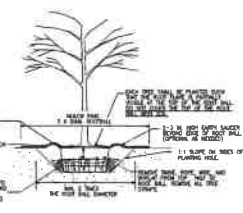
PRESERVED TREES				
ITEM	COMMON NAME	QTY	SIZE	UNITS
MYR	MYRTLE	2	4" DBH	...
MPL	MAPLE	1	4" DBH	...
MPL	MAPLE	1	12" DBH	0.6
MAG	MAGNOLIA	1	12" DBH	0.6
				1.2



Tree Protection NTS



Tree Staking NTS



Tree Planting NTS

REVISIONS

MAUPIN<sup>®</sup> engineering  
114-433-4271  
MAUPIN@GMAIL.COM

LANDSCAPING PLAN  
HWY. 21 CARMASH

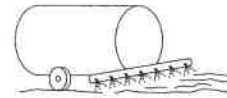
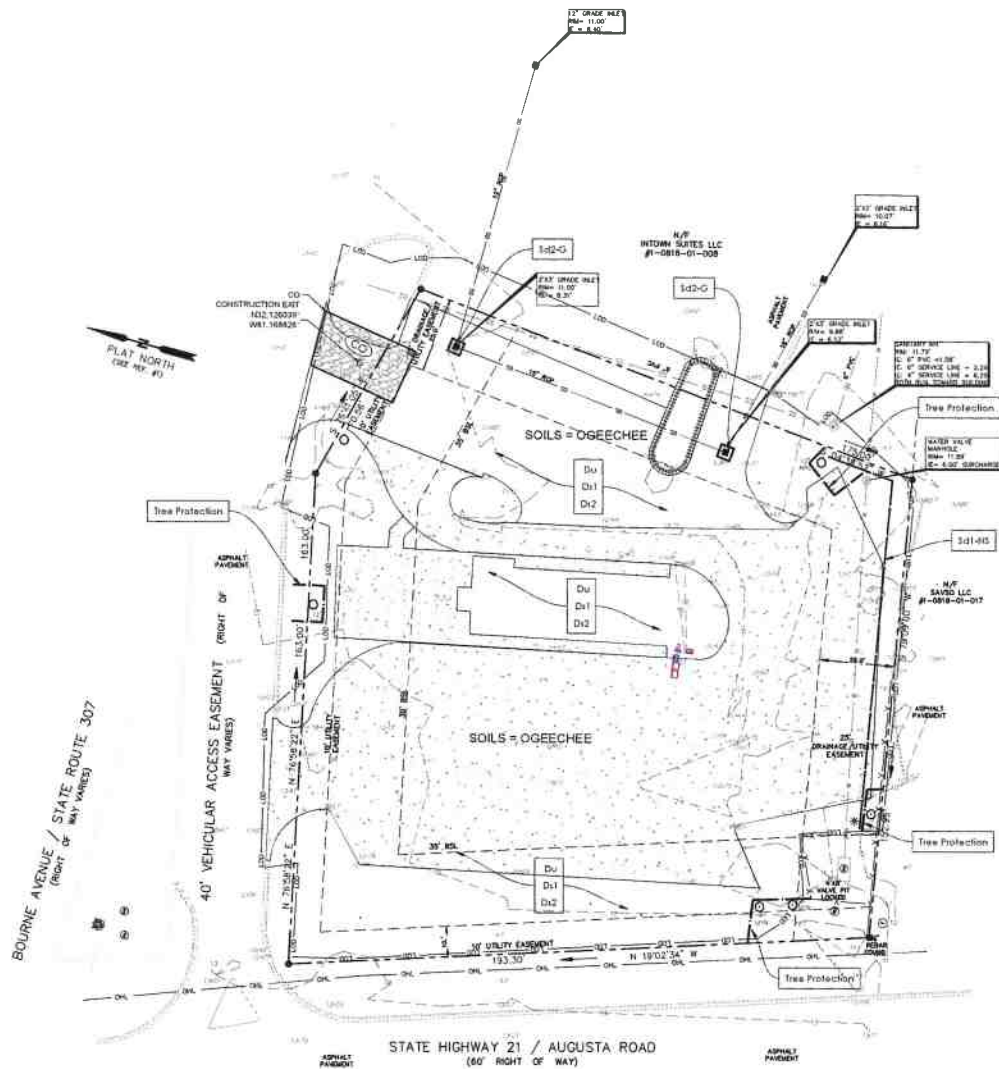


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DATE: JAN. DATE

C.6  
673-22-44





CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LEAVE THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES.

- |                     |                    |
|---------------------|--------------------|
| TEMPORARY METHODS:  | PERMANENT METHODS: |
| -ADHESIVES          | -VEGETATION        |
| -SPRAY ON ADHESIVES | -TROPICAL          |
| -GELFOAM            | -STONE COVER       |
| -BARRIERS           |                    |
| -KALCOLO CHLORIDE   |                    |

CHEMICAL CONTROL			
ADHESIVE	WATER	TYPE OF	APPLICATION
ADHESIVE	SOLUTION	VEHICLE	RATE (GAL/1000)
WATER ADHESIVE	7.5	SPRAY	1.00
WATER ADHESIVE	12.00	SPRAY	1.00
PERMANENT ADHESIVE	4.0	SPRAY	3.0

DUST CONTROL ON DISTURBED AREAS [Du]

**MAUPIN**  
engineering

114 WEST 42nd STREET  
MAINTENANCE, GA 30140

CONTACT: 404.242.2244  
C.E. MAUPIN, P.E., P.L.L.C.

**SEDIMENT AND EROSION  
CONTROL PLAN - INITIAL**  
HWY. 21 CARWASH



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PERMITTING

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CHK'D: JAM DATE: 1-17-2023

SCALE: 1"=10'

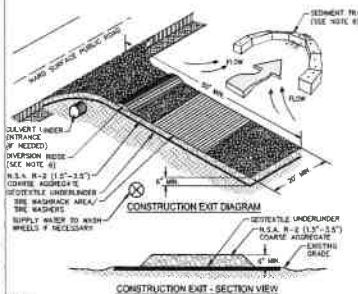




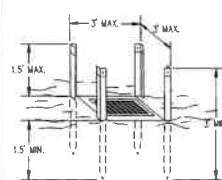




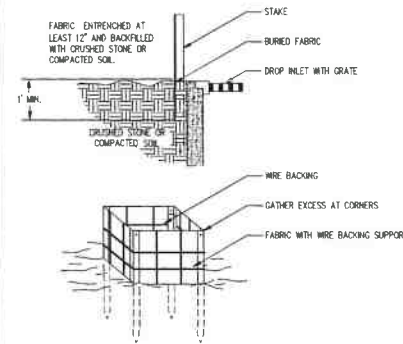
## CRUSHED STONE CONSTRUCTION EXIT



- NOTES:**
1. AVOID LOCKING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER INSTALLED MATERIAL FROM THE FOUNDATION AREA, GRADE, AND DRAINAGE FOR POSITIVE DRAINAGE.
  3. ADEQUATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION A-2 (1.5"-1.5") STONES.
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  5. THE WIDTH SHALL BE EQUAL TO THE WIDTH OF ALL POINTS OF DISCHARGE, BUT NO LESS THAN 20'.
  6. A DIVERSION ROUGH SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED HIGHWAY IS GREATER THAN 2%.
  7. INSTALL THE UNDER THE ENTRANCE OF HIGHWAY TO MAINTAIN DRAINAGE SYSTEM.
  8. WHEN MAINTENANCE IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (WHEN ALL SURFACE RUNOFF AND GRADE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. MAINTAIN AREA IN A WAY THAT PREVENTS TRACING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANSUP OF ANY MEASURES USED TO TRAP SEDIMENT.



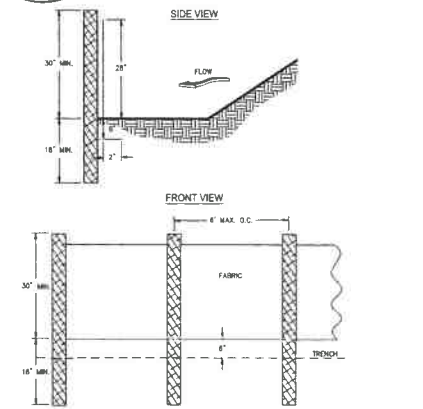
- NOTES:**
1. DESIGN FOR SLOPE NO GREATER THAN SIX (NOT DESIGNED FOR CONCENTRATED FLOWS).
  2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
  3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
  4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.



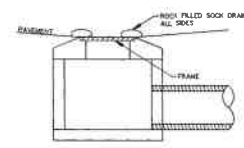
STEEL FRAME AND SILT FENCE INSTALLATION

## Sd2-F FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

## Sd1-NS SILT FENCE - TYPE NON-SENSITIVE



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.



GRATE INLET TRAP

# UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

## STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHORDAM			A small temporary barrier or dam constructed across a small drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION			A gravel or crushed stone surface applied to a construction road.
De	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An north channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DOWNSTREAM STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.
Dn2	PERMANENT DOWNSTREAM STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect shorelines or wetlands where otherwise the slope would be sufficient for the running water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainage ways.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SPREADER			A buoyant device that releases/drops water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP REPAIR			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.

## STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by erosion construction equipment.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROCKING			A rough and surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or stacked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMDRAIN CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

## VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strips of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded or artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING DECK)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TOP SOILING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PLOW SEEDING)			Establishing a permanent vegetative cover in front of a permanent vegetative cover.
Ds4	DISTURBED AREA STABILIZATION (WITH SEEDING)			A permanent vegetative cover using seeds on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface air and movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (WITH PLOW SEEDING)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKERS AND BINDERS			Substance used to anchor straw or hay much by causing the organic material to bind together.

REVISIONS

DATE

DESCRIPTION

NO.

MAUPIN

Engineering

1000 N. W. 10th Ave., Suite 100, Ft. Lauderdale, FL 33304

TEL: (954) 571-1111 FAX: (954) 571-1112

WWW.MAUPIN-ENG.COM

EROSION CONTROL DETAILS

HWY. 21 CARWASH

LEVEL 1 BAS

GEORGIA

REGISTERED PROFESSIONAL ENGINEER

NO. 12345

CELT (FIRM) REG-18-74/7894

STATUS

RELEASED FOR PERMITTING

DRIVE: 12/11/2023

CHWD: JAN. DATE

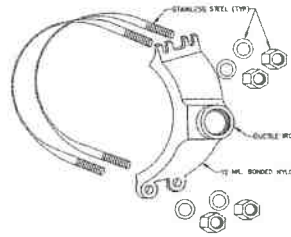
NOT TO SCALE

SHEET NO.

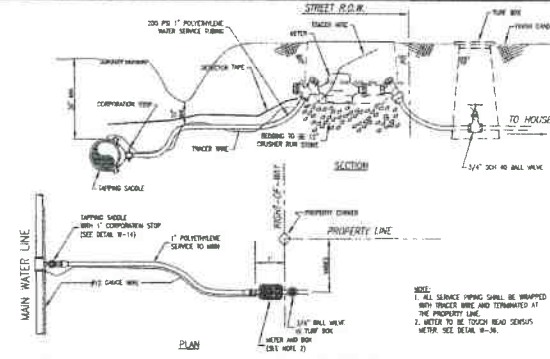
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673-22-44

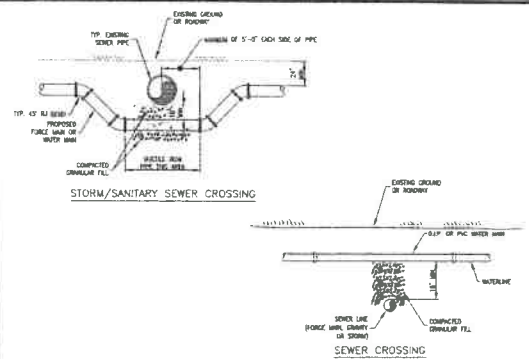




- NOTES:
1. TAPPING SADDLE TO BE DUCTILE IRON WITH 1\"/>



TYPICAL SINGLE SERVICE CONNECTION

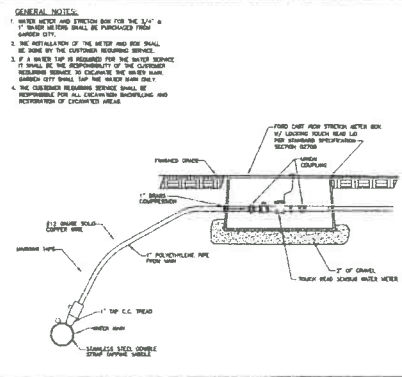


STORM/SANITARY SEWER CROSSING

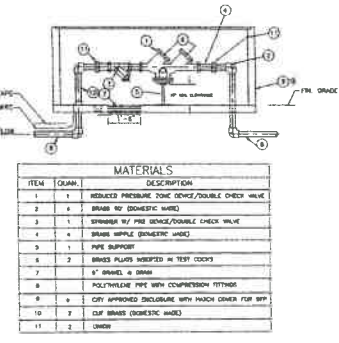
GARDEN CITY 1" & 2" TAPPING SADDLE N.T.S. W-11  
APRIL 2007

GARDEN CITY SERVICE CONNECTION DETAIL N.T.S. W-10  
APRIL 2007

GARDEN CITY PIPELINE CROSSING DETAIL N.T.S. W-16  
APRIL 2007



- GENERAL NOTES:
1. WATER METER AND SERVICE PIPE FOR THE 3/4" & 1" WATER SERVICE SHALL BE PROVIDED FROM GARDEN CITY.
  2. THE INSTALLATION OF THE METER AND BOX SHALL BE DONE BY THE CUSTOMER REQUESTING SERVICE.
  3. IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE, IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER REQUESTING SERVICE TO OBTAIN THE WATER MAIN GARDEN CITY SHALL TAP THE WATER MAIN ONLY.
  4. THE CUSTOMER REQUESTING SERVICE SHALL BE RESPONSIBLE FOR ALL CLEANING BACKFLOWING AND REPAIRING OF EXISTING MAINS.

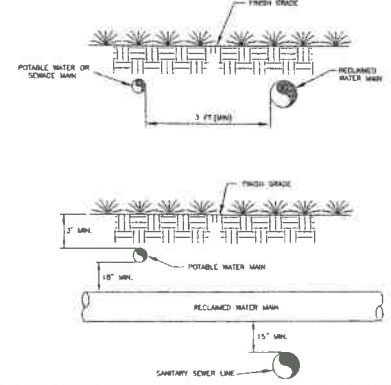


MATERIALS		
ITEM	QUAN.	DESCRIPTION
1	1	REDUCED PRESSURE ZONE DEVICE/DOUBLE CHECK VALVE
2	4	BRASS NP (DOMESTIC MAINS)
3	1	BRASS NP (DOMESTIC MAINS) CHECK VALVE
4	1	BRASS WIPPLE (DOMESTIC MAINS)
5	1	PIPE SUPPORT
6	2	BRASS PLUGS W/ROPS IN TEST COCKS
7	1	6" BRASS 6 DRAM
8	1	POLYETHYLENE PIPE WITH COMPRESSION FITTINGS
9	1	CITY APPROVED ENCLOSURE WITH HATCH COVER FOR BPP
10	2	COP BRASS (DOMESTIC MAINS)
11	2	COPING

AS RECOMMENDED BY THE CITY FOR THEFT PROTECTION

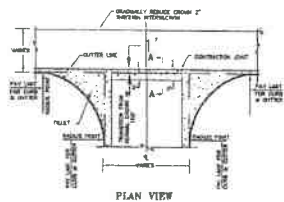
GARDEN CITY WATER METER INSTALLATION 1" SERVICE PIPE, 3/4" WATER METER & 1" WATER METER DOMESTIC, IRRIGATION & COMMERCIAL USE ONLY N.T.S. W-21  
APRIL 2007

GARDEN CITY BACKFLOW PREVENTER DETAIL 3/4", 1", 1-1/2", 2" N.T.S. W-28  
APRIL 2007

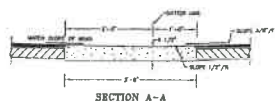


GARDEN CITY SEPARATION REQUIREMENTS FOR RECLAIMED WATER MAINS N.T.S. W-02  
APRIL 2007





PLAN VIEW



SECTION A-A

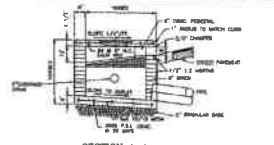
GARDEN CITY

CONCRETE SWALE WITH FILLETS

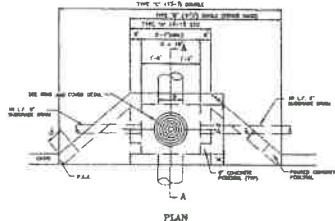
N.T.S.

APRIL 2007

P-31



SECTION A-A



PLAN

NOTES:

1. CHANGING ALL EXISTING CONCRETE CURBS 3/4\"/>

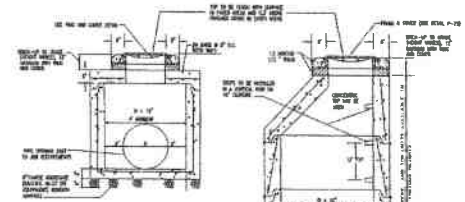
GARDEN CITY

STANDARD CURB INLET

N.T.S.

APRIL 2007

P-19



SHALLOW STORM MANHOLE



JOINT DETAIL



DEEP MANHOLE

NOTE: MANHOLE AND IF ADDED TO EXISTING FOR USE OF A MANHOLE, MANHOLE SHALL BE PLACED IN USE IN 10' DIA. AND 1' DIA. DIA.

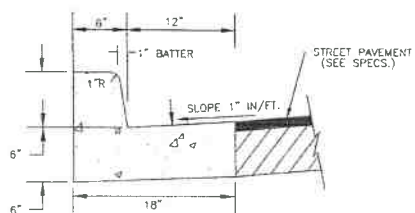
GARDEN CITY

STANDARD PRECAST CONCRETE STORM MANHOLE

N.T.S.

APRIL 2007

P-23



NORMAL GUTTER

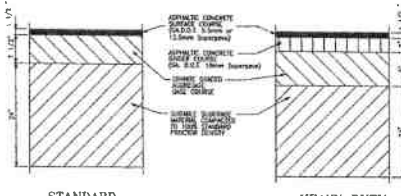
GARDEN CITY

18" CURB & GUTTER

N.T.S.

APRIL 2007

P-03



STANDARD

HEAVY DUTY

NOTES:

1. DIMENSIONS SHALL BE AS SHOWN AND SHALL BE APPLIED TO ALL CURBS.
2. REFER TO PAVING PLAN FOR LOCATION OF STANDARD AND HEAVY DUTY PAVEMENTS.

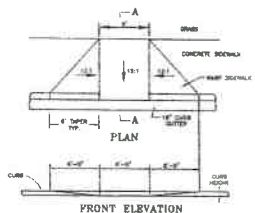
GARDEN CITY

TYPICAL PAVEMENT SECTIONS

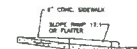
N.T.S.

APRIL 2007

P-10



FRONT ELEVATION



SECTION A-A

GARDEN CITY

HANDICAP RAMP DETAILS

N.T.S.

APRIL 2007

P-16

REVISIONS  
DATE  
BY

MAUPIN  
ENGINEERS



PAVING DETAILS



STATUS  
RELEASED FOR PERMIT  
DRAWN: JAM  
CHECKED: JAM  
DATE: 11/11/11

SHEET NO.

C.C.  
673-22

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A CARWASH DESIGNED FOR  
5440 AUGUSTA ROAD  
GARDEN CITY, GA  
31408

DATE: 2.23.23

REVISED:

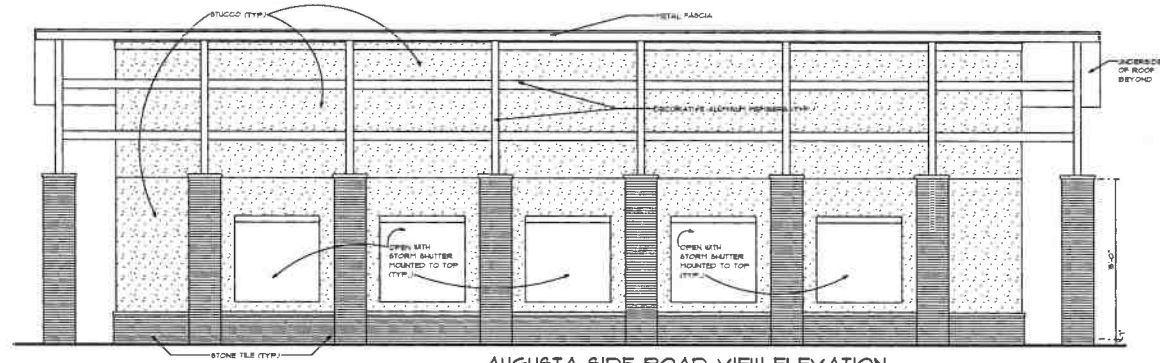
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ELEVATIONS

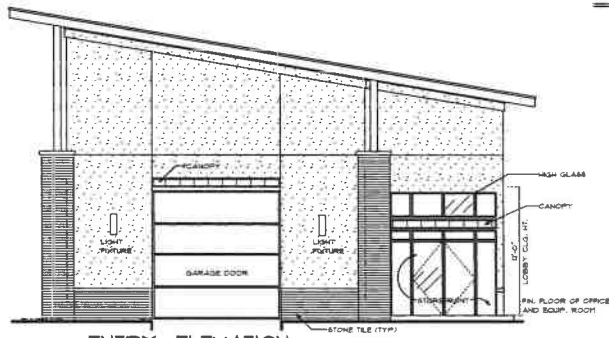
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A1

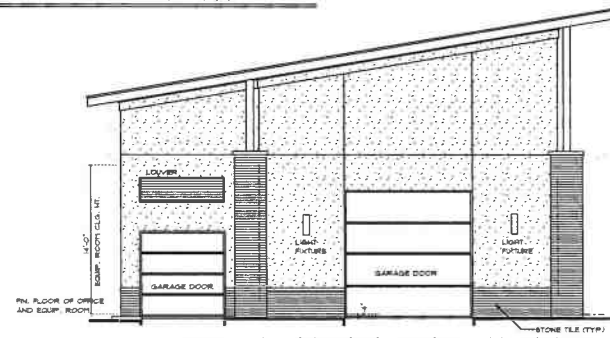
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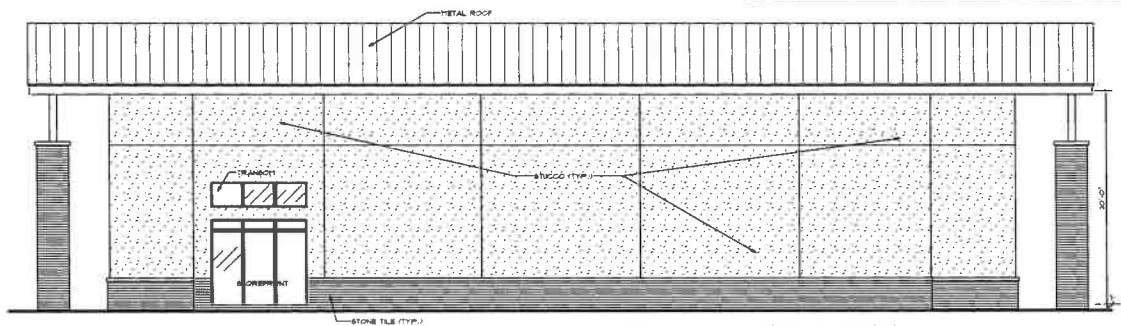
AUGUSTA SIDE ROAD VIEW ELEVATION



ENTRY ELEVATION

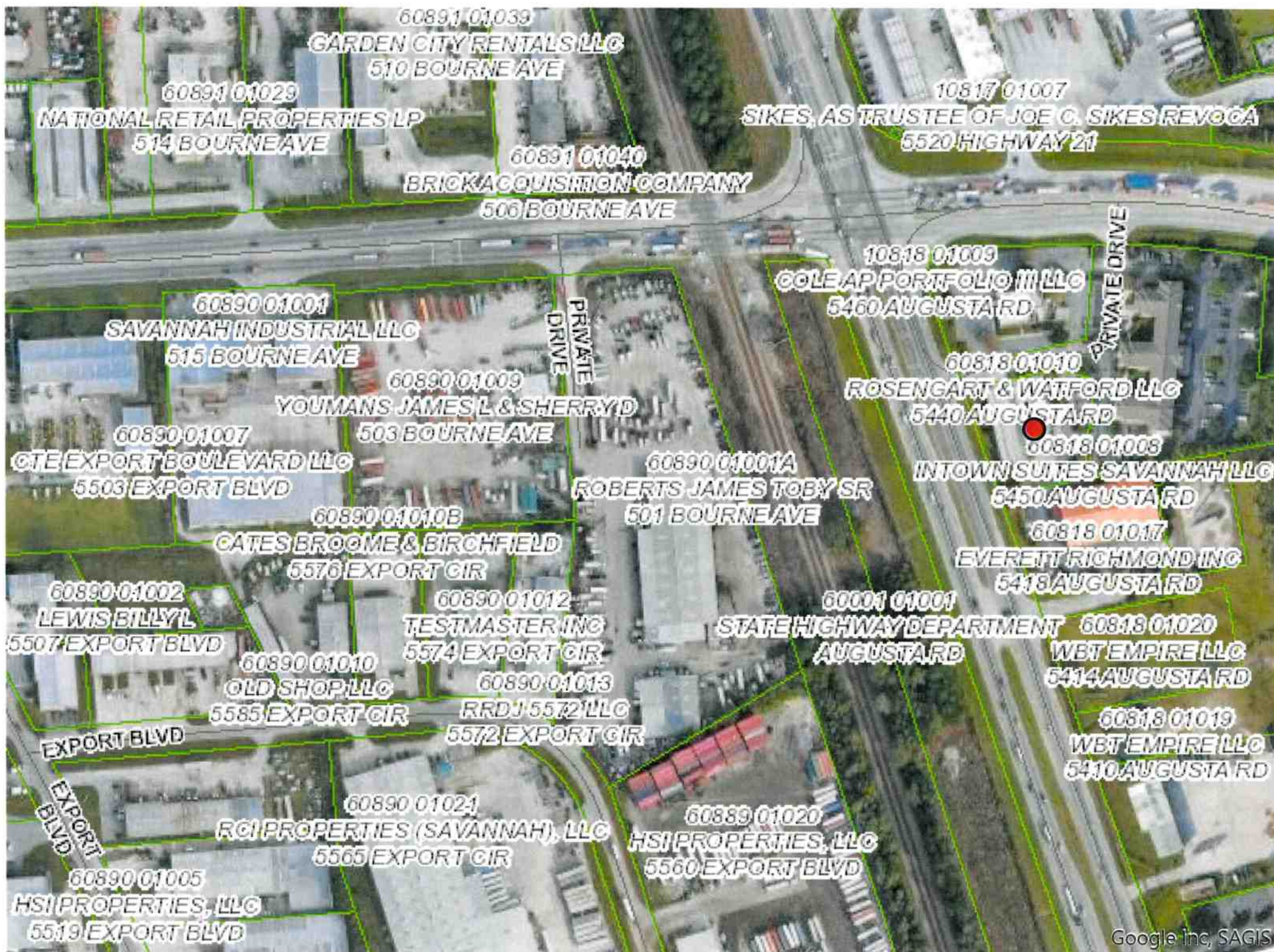


EXIT AND AUGUSTA ROAD ELEVATION



INTERNAL VIEW - FROM VAC. ELEVATION







# City of Garden General Development Plan Application



## Development Information

Development Name

Beacon Outdoor Billboard

Property Address

Heidt Ave

Phased development?

☐ Yes ☒ No

If yes, indicate proposed number of phases:

Parcel ID

60802 07001A

Total Site Acreage

.576

Zoning

C-3

Project Description

Erect AN LED Billboard on the Property

Water Supply

☐ Public ☐ Private N/A

Sewage Disposal

☐ Public ☐ Private N/A

## Applicant Information

Owner

Name

Roberts Management Inc

Address

HEIDT AVE

Phone

912-610-1883

Email

carmenA@savtoy.com

Engineer/Surveyor

☐ Same as authorized agent

☐ Check here to receive staff review comments via email

Company Name

Contact (Individual Name)

Phone

Email

Authorized Agent (Requires Authorized Agent Form)

☐ Check here to receive staff review comments via email

Company Name

Beacon Outdoor Advertising

Contact (Individual Name)

Lou Ferrando

Phone

706-540-4212

Email

Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando

Print Name

Signature

2/9/23

Date

## OFFICE USE ONLY

Received By

Date Received

Case Number

Submittal Format

☐ Electronic ☐ Paper ☐ Both

Fee Amount Paid

Invoice Number





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2310 – Billboard – Heidt Avenue

<b>Application Type</b>	<b>Sign Permit</b>
<b>Case Number</b>	PC 2310
<b>Applicant</b>	Roberts Management
<b>Name of Project</b>	Billboard
<b>Property Address</b>	Heidt Avenue
<b>Parcel IDs</b>	60802 07001A
<b>Area of Property</b>	.58 acres
<b>Current Zoning</b>	C-2A
<b>Proposed Land Use</b>	Outdoor Advertising (Billboard)/Separate Use Sign

## GENERAL INFORMATION

**Project Description:** The applicant has applied for a permit to install a single-sided electronic billboard on Heidt Avenue, near U.S. Highway 80. The sign face (display area) is 382 square feet and measures 36' x 10'6". The proposed height is 50 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

## FINDINGS

The maximum height of a billboard adjacent to a local street is 30 feet per Section 90-174.

## RECOMMENDATION

**Approval** of the Outdoor Advertising/Separate Use sign permit, not to exceed 30 feet in height, pending approval from the Georgia Department of Transportation.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.*





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

## SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	<u>Billboard</u>
Property Address:	<u>HEIDT AVE</u>
Property Owner:	<u>ROBERTS MANAGEMENT INC</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60802 07001A</u>
Zoning Classification:	<u>C-2A GENERAL COMMERCIAL 1</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando

Name (Print)

PO Box 1981 Athens, GA 30606

Address

Beacon Outdoor Advertising

Company Name

706-540-4212

Phone Number

  
Signature

\*\*\*\*\*

### OFFICE USE ONLY

Plan Submitted: \_\_\_\_\_

Permit Fee: \$ \_\_\_\_\_

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

\_\_\_\_\_  
Building Inspector / Code Enforcement Officer





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

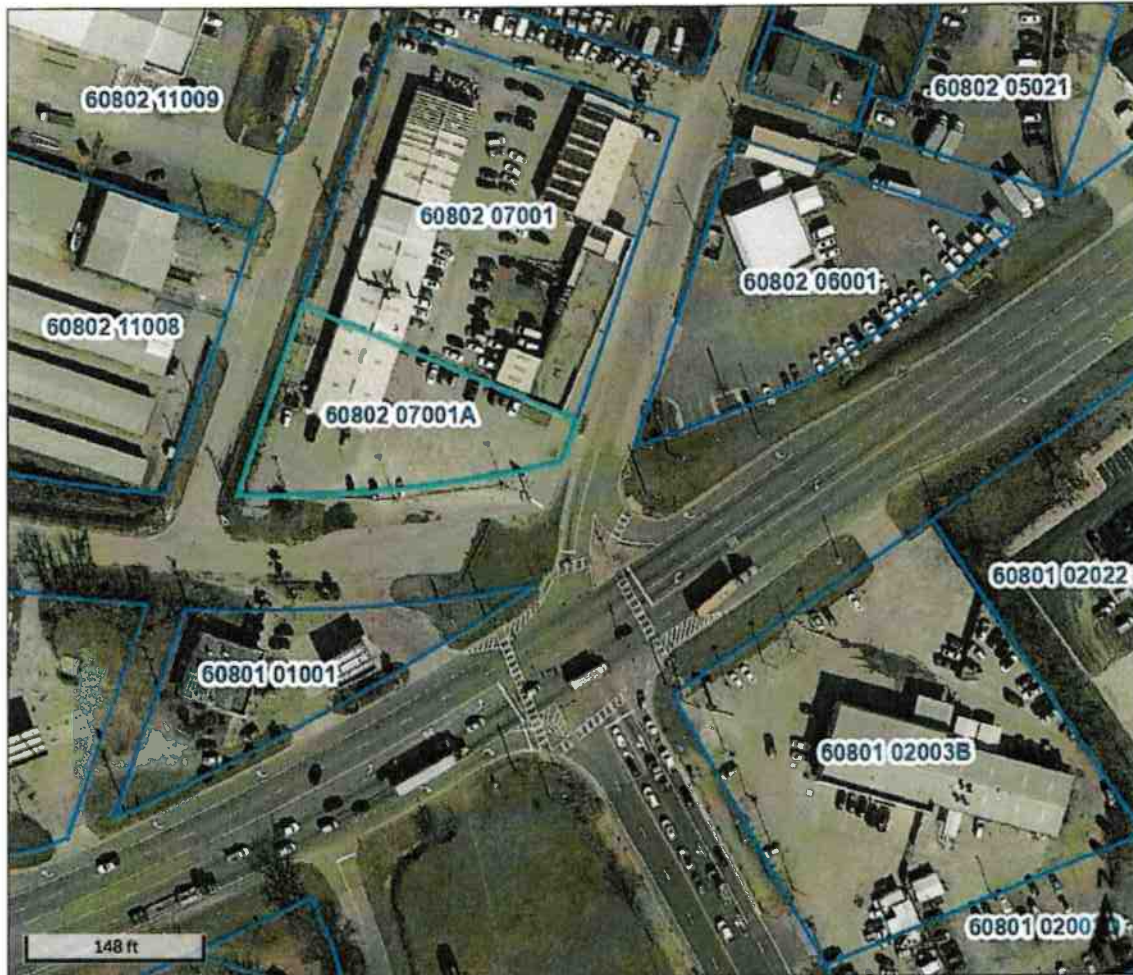


Sign Location





# Chatham County, GA



## Overview



## Legend

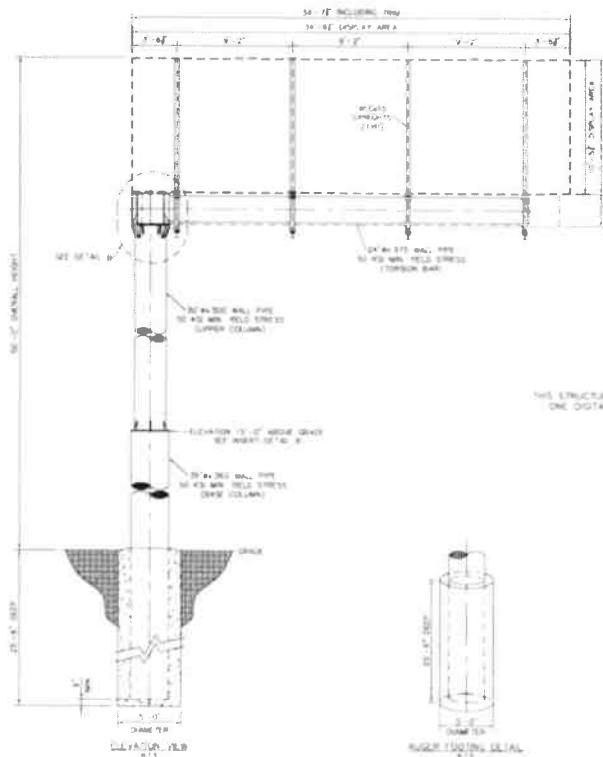
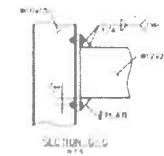
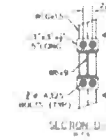
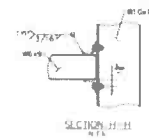
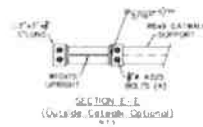
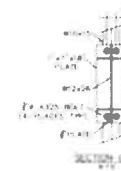
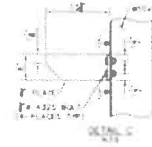
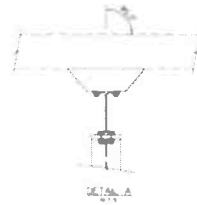
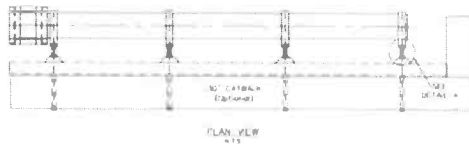
- Parcels
- Water

Parcel ID	60802 07001A	Alternate ID	3024535	Owner Address	ROBERTS MANAGEMENT INC
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		P O BOX 60817
Property Address	HEIDT AVE	Acreage	0.576		SAVANNAH, GA 31420
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	PARCEL C BEING KNOWN AS TRACT 1 OF A RECOMBINATION OF LOTS 118 THRU 128 CENTRAL JUNCTION HGTS				
	PRB 14P 48.576 ac				
	(Note: Not to be used on legal documents)				

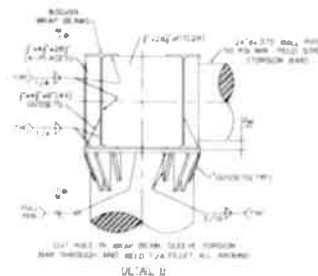
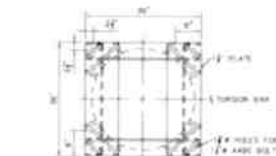
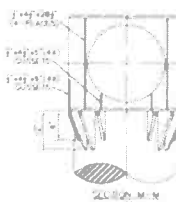
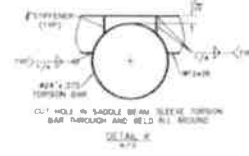
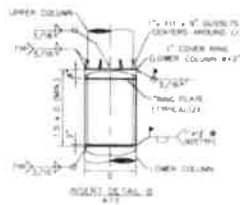
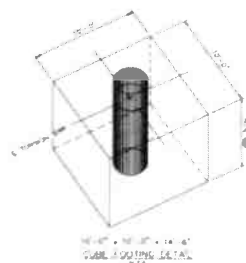
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Last Data Uploaded: 2/7/2023 9:26:37 AM



NOTE: 24" UPPER & LOWER RINGS  
CATWALKS NOT SHOWN FOR CLARITY



THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING  
ONE DIGITAL UNIT WEIGHING APPROXIMATELY 4,725#



# GENERAL NOTES

- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
  - The International Building Code (2018 Edition w/Georgia Amendments)
  - American Society of Testing and Materials (ASTM) specifications
  - Building Code Requirements for Reinforced Concrete (ACI 318 - (Current Edition))
  - Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
  - Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by The American Institute of Steel Construction (AISC) (Current Edition)
- Concrete shall be  $f_c=2500$  P.S.I. @ 28 days  
Compressive Strength, Standard Weight (150 P.C.F.)
- Reinforcing Steel (if required) shall be ASTM A-615 Grade 60
  - All reinforcing steel shall be free from rust, oil, mud or coatings that would reduce or destroy bond.
  - All reinforcing bars shall be 30 deniers minimum, except in sole.
  - Minimum concrete cover on bars, slabs and walls shall be 3/4 inch for slab, wall and surfaces not exposed to weather or in contact with ground. 2 inches for unreinforced surfaces exposed against the ground except as noted.
- Structural Material Specifications
  - Structural Steel and Plates shall be A-36
  - Shape Steels shall be (Fy=50 ksi) minimum
  - Shields (bars) shall be ASTM A-308, Grade B, (Fy=44 ksi)
  - Structural piping shall be ASTM A-53, Grade B, Type E or S, (Fy=55 ksi), ASTM A572 Grade 42 (Fy=42 ksi) or ASTM A572 Grade 50 (Fy=50 ksi) unless otherwise noted.  
(see drawing for individual member specifications)
- Anchorage bolts (if required) shall be ASTM F-1554 Grade 36, unless otherwise noted
- High strength bolts for connections shall be ASTM A-325, unless otherwise noted
- Welding electrodes shall comply with AWS D1.1 (Current Edition) E70T1
- Design Wind Speed= 135 MPH (D.B.C.)  
Equivalent Wind Load= 48.4 PSF @ 50' A.C. above the ground (3 Sec. Wind Gusts)  
Exposure B,  $w=1.0$   $G=1.03$
- Soil Bearing Capacity Requirements:
  - Spread Footings shall be 1000 P.S.F.
  - Cube or Auger Footing Minimum Ultimate Soil Bearing Capacity shall be 170 #/sq ft @ 2'-0" P.S.F. per foot of depth. (20 #/sq ft per 100 lbs. & less to 100 #/sq ft)
- Contractor shall verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies
- Spacing of pipes having an equal diameter, and shall not be permitted. A 1/2 inch penetration and around (per AWS D1.1) shall be used and must be performed by a certified welder. Spacing shall not be more than 1/2 inch of the foundation depth below grade, or 1/2 inch above grade if within the above tolerances, unless noted otherwise
- The structure shown is designed in capacity of supporting one (1) digital unit weighing up to approximately 4,725#

This drawing is for permitting purposes only. Unauthorized use is prohibited.

**Selective Structures, LLC**  
811 East Avenue  
Athens, TN 37803

PROFESSIONAL  
10'-6" x 36'-0" FF, SF @ 50'-0" O.A.H.  
w/One (1) 4,725# Digital Unit  
Location: 1025 US-80  
Garden City, GA

**GINN SERVICES**  
GINN ENGINEERING SERVICES, LLC  
2971 PLATBOCK RD  
WATKINSVILLE, GA 30677  
678 232 0872

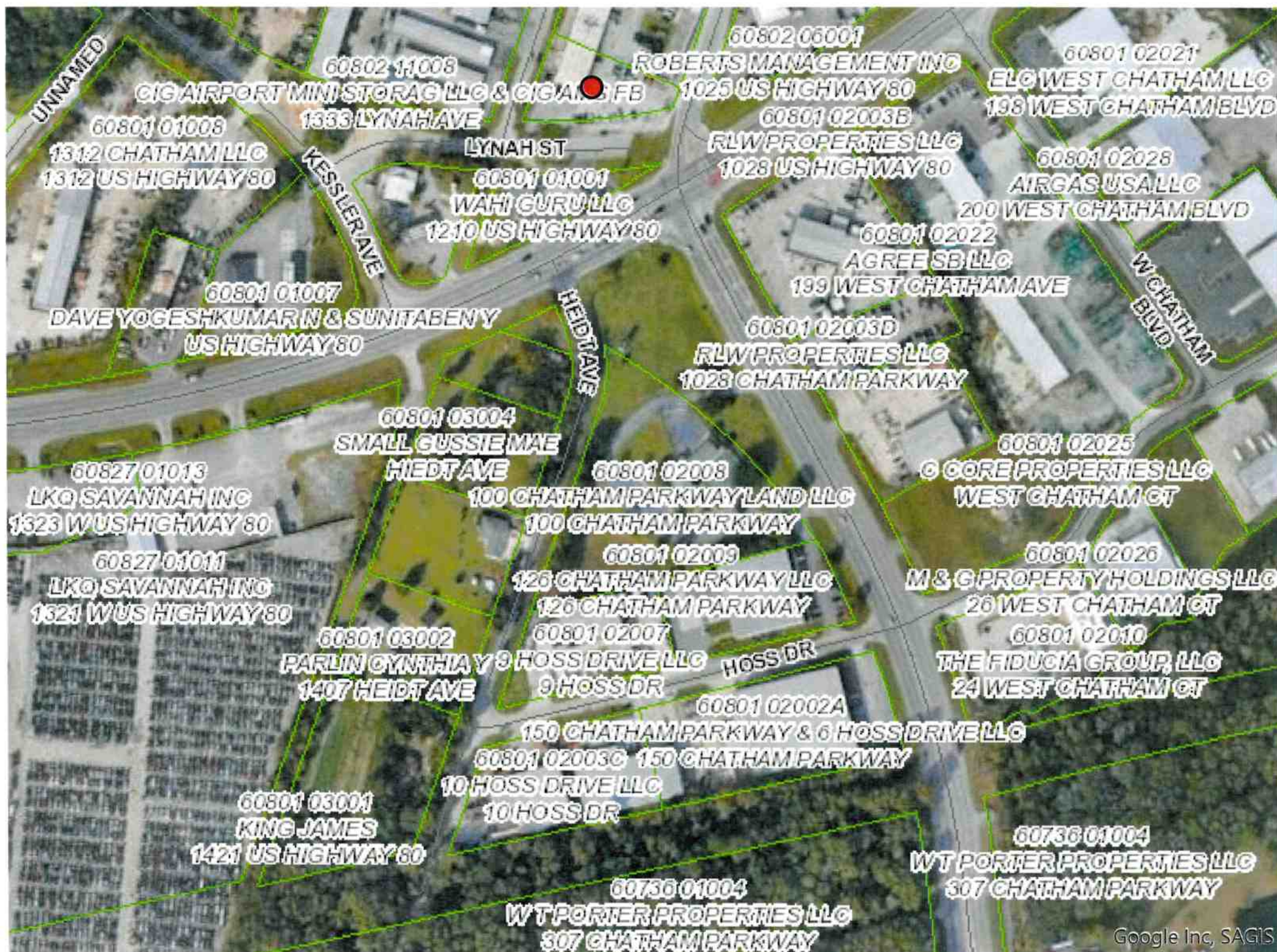
REVISIONS

NO.	DESCRIPTION	DATE
1	10'-6" x 36'-0" FF, SF @ 50'-0" O.A.H. w/One (1) 4,725# Digital Unit Location: 1025 US-80 Garden City, GA	12/15/22

GEORGIA  
REGISTERED PROFESSIONAL ENGINEER  
No. 16045301  
J. L. JOHNSON  
12/15/22

DRAWN BY: J.L. JOHNSON  
DATE: 12/15/22  
SELECTIVE: J.L. JOHNSON  
SCALE: 1/4"=1'-0"  
PROJECT: 1025 US-80  
SHEET: 1 OF 1







# City of Garden General Development Plan Application



GARDEN CITY

## Development Information

Development Name <u>William L. Granger</u>		
Property Address <u>J-16 @ Salt Creek Rd.</u>		
Phased development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If yes, indicate proposed number of phases:
Parcel ID <u>60960 1001</u>	Total Site Acreage <u>230 (A-1)</u>	Zoning <u>C-5</u>
Project Description		
Water Supply <input type="checkbox"/> Public <input type="checkbox"/> Private <u>N/A</u>		Sewage Disposal <input type="checkbox"/> Public <input type="checkbox"/> Private <u>N/A</u>

## Applicant Information

Owner	
Name <u>William Granger</u>	Address <u>Po Box 7267</u> <u>Garden City, GA 31418</u>
Phone <u>843-834-8356 Agent #</u>	Email <u>Jed@renfreoutdoor.com</u>
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name <u>TES</u>	Contact (Individual Name) <u>Carl Thompson</u>
Phone <u>423-781-7336</u>	Email <u>Carl@Teservers.com</u>
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name <u>Renfre Outdoor, LLC</u>	Contact (Individual Name) <u>Mr. John D. D. S. B. W.</u> <u>Jed Renfre</u> <u>5116 300</u> <u>MT Pleasant SC 29461</u>
Phone <u>843-824-8356</u>	Email <u>JEDR@renfreoutdoor.com</u>

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Jed Renfre      [Signature]      1/10/2023  
 Print Name      Signature      Date

OFFICE USE ONLY			
Received By		Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		Fee Amount Paid	Invoice Number





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2312 – Billboard – 0 Salt Creek

<i><b>Application Type</b></i>	<i><b>Sign Permit/Site Plan</b></i>
<i><b>Case Number</b></i>	PC 2312
<i><b>Applicant</b></i>	William Grainger
<i><b>Name of Project</b></i>	Billboard
<i><b>Property Address</b></i>	Interstate 16, via 0 Salt Creek Road
<i><b>Parcel IDs</b></i>	60960 01001
<i><b>Area of Property</b></i>	50.01 acres
<i><b>Current Zoning</b></i>	P-I-1
<i><b>Proposed Land Use</b></i>	Outdoor Advertising (Billboard)/Separate Use Sign

## GENERAL INFORMATION

***Project Description:*** The applicant has applied for a permit to install a double-sided billboard, visible from Interstate 16. Each sign face (display area) measures 12' x 42' per sign face. The area indicated on the Georgia Department of Transportation (GDOT) permit was not updated when the length of the sign was changed by hand.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

## FINDINGS

The applicant has received an approved permit from the Georgia Department of Transportation. The proposed size exceeds the maximum sign area of 480 square feet by 24 square feet.

## RECOMMENDATION

**Approval** of the Outdoor Advertising/Separate Use sign permit not to exceed 480 square feet per face.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's*





*standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.*





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

#2

## SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign: On Outdoor Advertising / Separate Use Sign  
Property Address: Salt Creek Road  
Property Owner: William L. Grainger  
Proposed use of Building: \_\_\_\_\_  
Materials to be used: steel, concrete  
Height of Sign: 50'  
Square Footage of Proposed Sign: 480  
Pin Listing: 60960 01001  
Zoning Classification: C5

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Ben Jones / JEC Renfro

Name (Print)

Po Box 2227 Brunswick, Ga. 31521

Address

Jed@renfrooutdoor.com

Renfro Outdoor Advertising

Company Name

843-834-8356

Phone Number

[Signature]

Signature

\*\*\*\*\*  
**OFFICE USE ONLY**  
\*\*\*\*\*

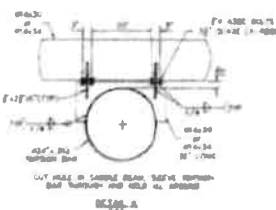
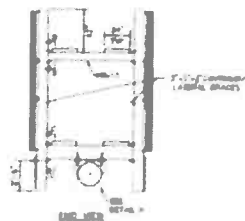
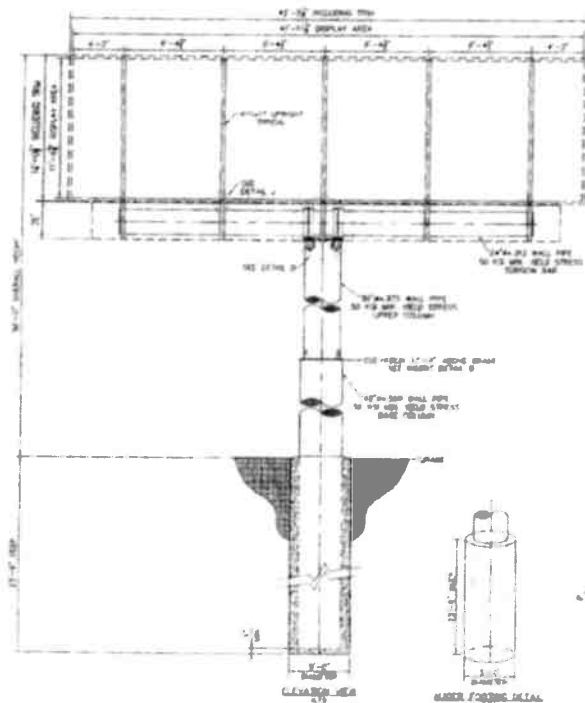
Plan Submitted: \_\_\_\_\_

Permit Fee: \$ \_\_\_\_\_

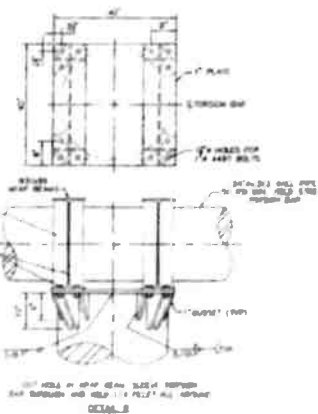
The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building etc.

\_\_\_\_\_  
Building Inspector





THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING  
UP TO TWO (2) DIGITAL VOICE DEVICES UP TO 0.300g EACH

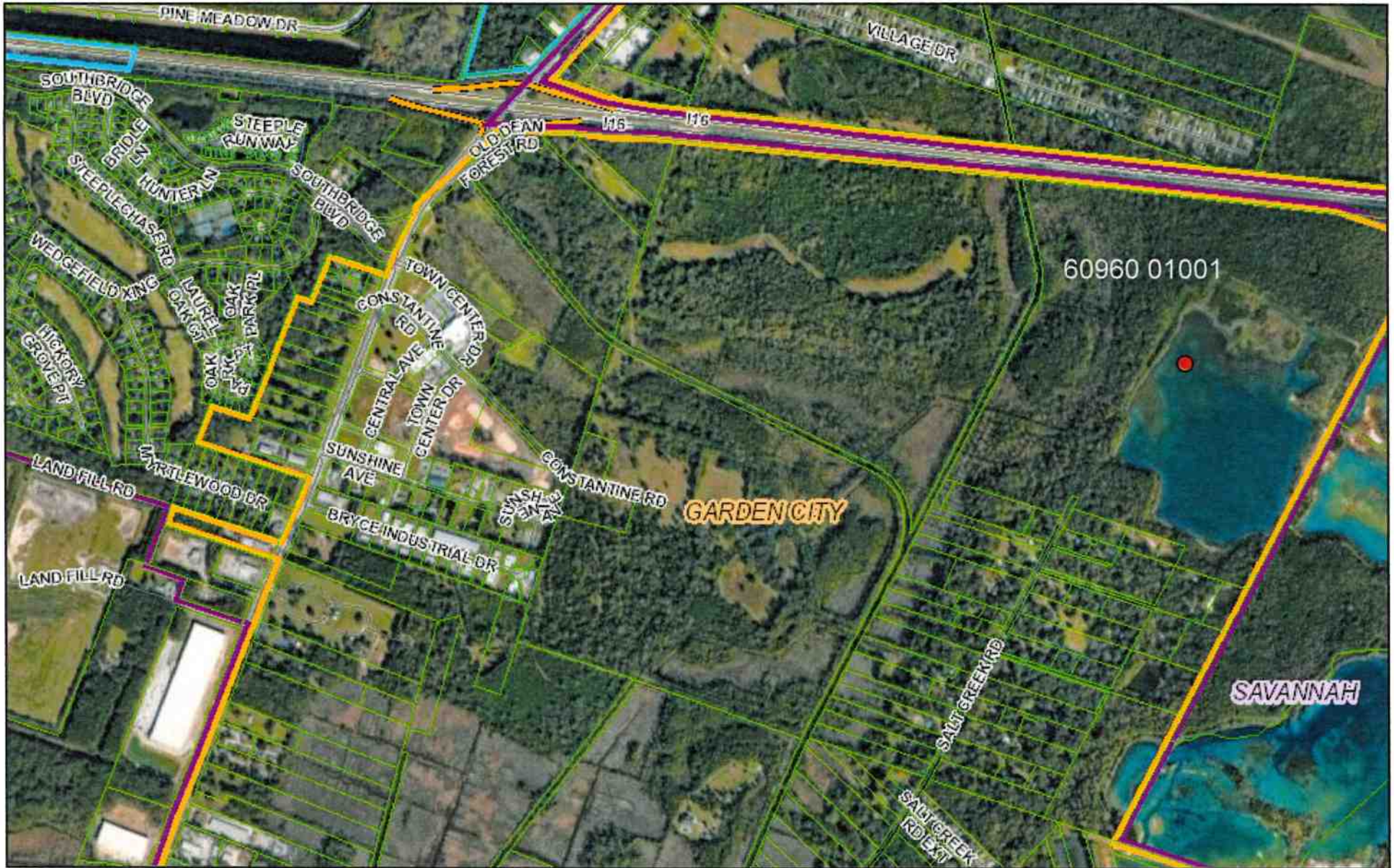
[illegible][illegible]



William L Grainger - Timber Harvest - Exhibit "A"

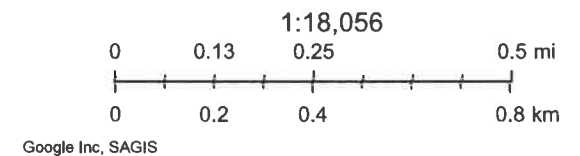






3/8/2023, 11:24:13 AM

Municipal Boundary	POOLER	THUNDERBOLT	UNINCORPORATED	Parkways
BLOOMINGDALE	PORT WENTWORTH	TYBEE ISLAND	Local Roads	Interstate
GARDEN CITY	SAVANNAH	VERNONBURG	Major Roads	Local Roads





# City of Garden General Development Plan Application



## Development Information

Development Name		
Beacon Outdoor Billboard		
Property Address		
2606 US Hwy 80		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60926 03031	.48	C-2
Project Description		
Erect AN LED Billboard on Property		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		<input type="checkbox"/> Public <input type="checkbox"/> Private N/A

## Applicant Information

Owner	
Name	Address
Robert M Chu	2606 US Hwy 80
Phone	Email
912-665-2803	chuconstruction@comcast.net
<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Engineer/Surveyor	Company Name
	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form)	
<input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Beacon Outdoor Advertising	Lou Ferrando
Phone	Email
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando

Print Name

Signature

2/9/23

Date

OFFICE USE ONLY			
Received By		Date Received	Case Number
Submittal Format		Fee Amount Paid	Invoice Number
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both			





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2313 – Billboard – 2606 U.S. Highway 80

<b>Application Type</b>	<b>Sign Permit/Site Plan</b>
<b>Case Number</b>	PC 2313
<b>Applicant</b>	Beacon Outdoor Billboards
<b>Name of Project</b>	Billboard
<b>Property Address</b>	2606 U.S. Highway 80
<b>Parcel IDs</b>	60926 03031
<b>Area of Property</b>	0.49 acres
<b>Current Zoning</b>	C-2A
<b>Proposed Land Use</b>	Outdoor Advertising (Billboard)/Separate Use Sign

## GENERAL INFORMATION

**Project Description:** The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

## FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

## RECOMMENDATION

**Approval** of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.*





The City of Garden City, Georgia  
 100 Central Avenue, Garden City, Georgia 31405  
 Phone: 912.966.7777 Fax: 912.963.2735

## SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:


Type of Sign:	<u>Billboard</u>
Property Address:	<u>2606 US Highway 80</u>
Property Owner:	<u>Robert M Chu</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60926 03031</u>
Zoning Classification:	<u>C-2A GENERAL COMMERCIAL 1</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando  
 Name (Print)  
  
PO Box 1981 Athens, GA 30606  
 Address

Beacon Outdoor Advertising  
 Company Name  
  
706-540-4212  
 Phone Number

  
 Signature

\*\*\*\*\*

### OFFICE USE ONLY

Plan Submitted: \_\_\_\_\_

Permit Fee: \$ \_\_\_\_\_

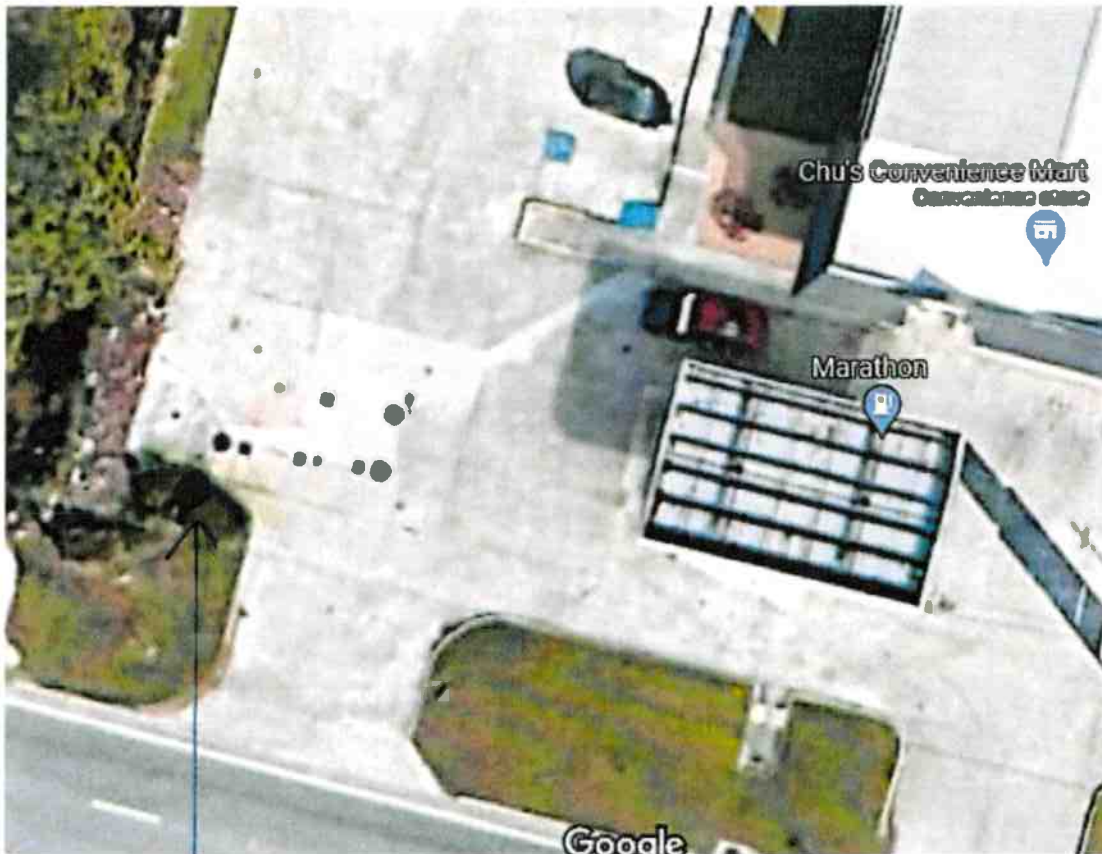
The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

\_\_\_\_\_  
 Building Inspector / Code Enforcement Officer





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location





# Chatham County, GA



## Overview



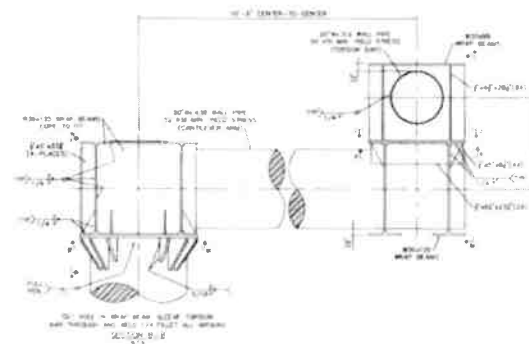
## Legend

- Parcels
- Water

Parcel ID	60926 03031	Alternate ID	2929231	Owner Address	CHU ROBERT M
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		7726 JOHNNY MERCER BLVD
Property Address	2606 US HIGHWAY 80	Acreage	0.48		SAVANNAH, GA 31410
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	LOT 2 RECOMBINATION OF LOTS A B & D BLK A WOODLAWN TERRACE				
	(Note: Not to be used on legal documents)				

Date created: 1/22/2023  
Last Data Uploaded: 1/21/2023 11:38:27 AM





- |             |         |
|-------------|---------|
| DRAWN BY    | 700     |
| DATE        | 10-1-77 |
| EXEMPTIVITY | 10-1-77 |
| SCALE       | 1:1     |
| PROJ. #     | 000000  |
| DRG. #      | 10-1-77 |
| SHEET #     | 100     |







# City of Garden General Development Plan Application



## Development Information

<b>Development Name</b>		
Beacon Outdoor Billboard		
<b>Property Address</b>		
211 US Hwy 80		
<b>Phased development?</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<b>If yes, indicate proposed number of phases:</b>		
<b>Parcel ID</b>	<b>Total Site Acreage</b>	<b>Zoning</b>
60020 06002B	.8022	C-2A
<b>Project Description</b>		
Erect a LED billboard on the property		
<b>Water Supply</b>		
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		
<b>Sewage Disposal</b>		
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		

## Applicant Information

<b>Owner</b>	
<b>Name</b>	<b>Address</b>
Janic Stephens/RJKA Quick Lock LLC	211 US Hwy 80
<b>Phone</b>	<b>Email</b>
912-596-1998	jsquickrx@aol.com
<b>Engineer/Surveyor</b> <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
<b>Phone</b>	<b>Email</b>
<b>Authorized Agent (Requires Authorized Agent Form)</b> <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Beacon Outdoor Advertising	Lou Ferrando
<b>Phone</b>	<b>Email</b>
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando

Print Name

A handwritten signature in black ink, appearing to read 'Lou Ferrando'.

Signature

2/9/23

Date

OFFICE USE ONLY		
<b>Received By</b>	<b>Date Received</b>	<b>Case Number</b>
<b>Submittal Format</b>	<b>Fee Amount Paid</b>	<b>Invoice Number</b>
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2314 – Billboard – 211 U.S. Highway 80

<i><b>Application Type</b></i>	<i><b>Sign Permit/Site Plan</b></i>
<i><b>Case Number</b></i>	PC 2314
<i><b>Applicant</b></i>	Beacon Outdoor Billboards
<i><b>Name of Project</b></i>	Billboard
<i><b>Property Address</b></i>	211 U.S. Highway 80
<i><b>Parcel IDs</b></i>	60020 06002B
<i><b>Area of Property</b></i>	0.88 acres
<i><b>Current Zoning</b></i>	C-2A
<i><b>Proposed Land Use</b></i>	Outdoor Advertising (Billboard)/Separate Use Sign

## GENERAL INFORMATION

*Project Description:* The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

## FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

## RECOMMENDATION

**Approval** of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.*





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

## SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	Billboard
Property Address:	211 US HIGHWAY 80
Property Owner:	RJKA QUICK LOCK LLC
Proposed use of Building:	Advertising
Materials to be used:	Steel
Height of Sign:	40'
Square Footage of Proposed Sign:	382 sq ft
Pin Listing:	60020 06002B
Zoning Classification:	C3 - Commercial Lots

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando  
Name (Print)

PO Box 1981 Athens, GA 30606  
Address

Beacon Outdoor Advertising  
Company Name

706-540-4212  
Phone Number

  
Signature

\*\*\*\*\*

### OFFICE USE ONLY

Plan Submitted: \_\_\_\_\_

Permit Fee: \$ \_\_\_\_\_

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

\_\_\_\_\_  
Building Inspector / Code Enforcement Officer





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

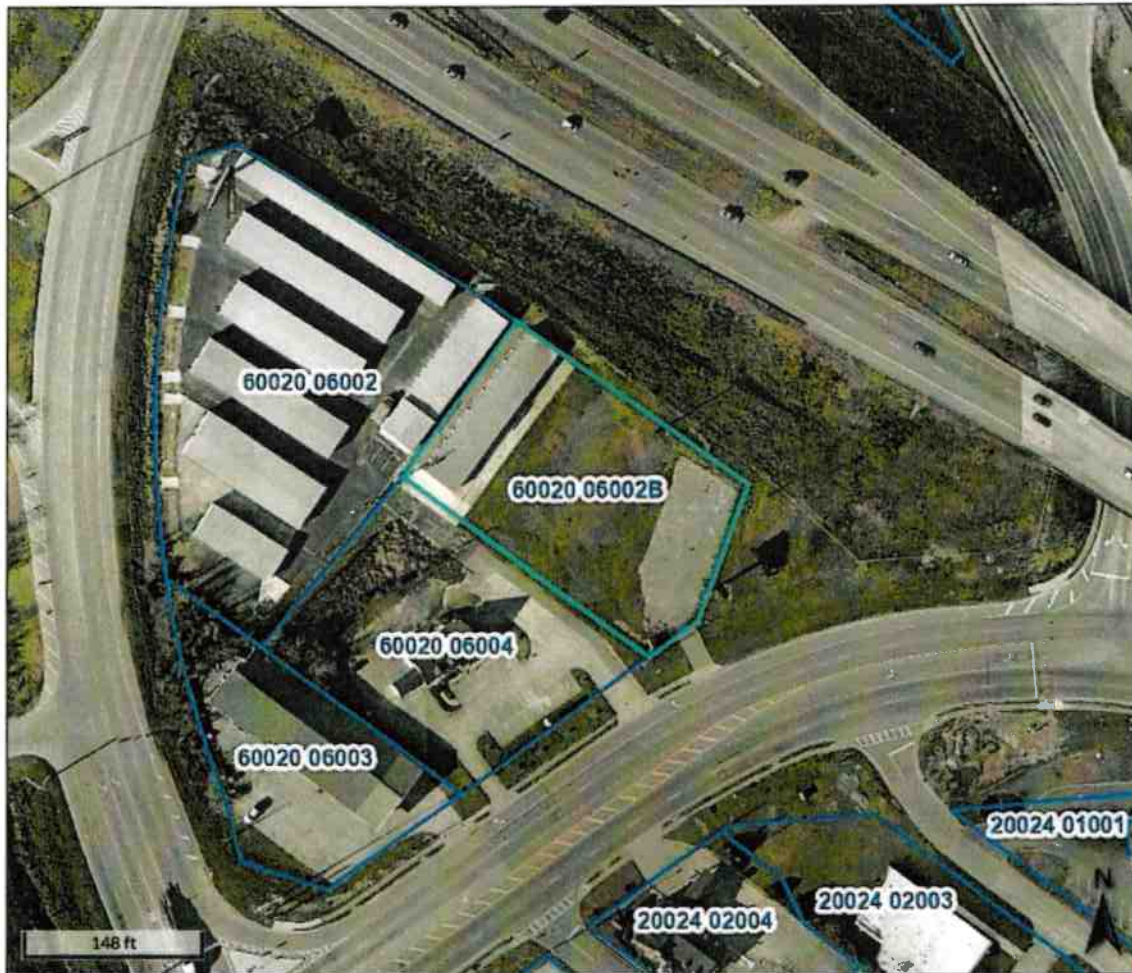


Sign Location





# Chatham County, GA



## Overview



## Legend

- Parcels
- Water

Parcel ID	60020 06002B	Alternate ID	2998045	Owner Address	RJKA QUICK LOCK LLC
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		45 COVE DR
Property Address	211 US HIGHWAY 80	Acreage	0.8		SAVANNAH, GA 31419
	GARDEN CITY				
District	(061) GARDEN CITY W/TRANSIT				
Brief Tax Description	PORTIONS OF LAUREL CROFT SUB PT OF ABRAHAMS STREET & HOULIHAN STREE				
	(Note: Not to be used on legal documents)				

Date created: 1/22/2023  
Last Data Uploaded: 1/21/2023 11:38:27 AM



Figure 1 is a plan view of the bridge deck showing the layout of the 12 piles. The deck is 120' wide and 120' long. Piles are arranged in two rows of six. The center-to-center spacing between piles in each row is 20'. The distance from the centerline of the deck to the centerline of the pile rows is 30'. The distance from the centerline of the deck to the centerline of the pile rows is 30'. The distance from the centerline of the deck to the centerline of the pile rows is 30'.

CLAYDON VIEW  
N 13

Figure 1 is a schematic diagram of the experimental setup. It shows a subject seated at a table, looking at a screen. A camera is positioned above the screen. A target is visible on the screen. The subject's hand is positioned near the target. The diagram illustrates the spatial arrangement of the subject, camera, screen, and target during the experiment.

SECTION, S-S

[illegible]

SECTION 5-5  
(Divide Calcegas Tunnel)



SECTION H-H

Figure 1 is a schematic diagram of the experimental setup. It shows a vertical tube with a central rod. A magnetic field coil is wrapped around the tube. Labels indicate the 'Magnetic field', 'Central rod', 'Dendrite growth', and 'Fe-As<sub>2</sub>O<sub>3</sub>'. The diagram is labeled 'SECTION 1-1' at the bottom.

THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING UP TO TWO (2) DATA UNITS WEIGHING APPROXIMATELY 4.775g EACH

5' x 5' x 5'  
CUBE, FOGGING DETAIL

[illegible]

1. All design, detailing, fabrication and construction shall conform to the following codes and specifications:
  - a. International Building Code 2008 Edition
  - b. Georgia Amendments
  - c. American Society for Testing and Materials (ASTM) specifications
  - d. Building Code Requirements for Reinforced Concrete (ACI 308) for Reinforced Concrete
  - e. Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
  - f. Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by the American Institute of Steel Construction (AISC) (Current Edition)
2. Concrete shall be  $\text{FCI}2500 \text{ P-S1} @ 28 \text{ Days}$  Compressive Strength, Standard Weight (150 P.C.F.)
3. Reinforcing Steel (Rebar) shall be ASTM A-615 Grade 60
  - a. All reinforcing steel shall be free from rust, oil, dirt or other surface that would inhibit the bonding of steel to concrete.
  - b. All reinforcing bars shall up to 36 diameters nominal, except as follows:
  - c. Minimum concrete cover on ties, slabs and mat bars shall be 1/4 inch (16g, and surface not exposed to weather or in contact with ground).
  - d. Bars in column, framed walls, supported against the ground shall be noted.
4. Structural Material Specifications:
  - a. Structural Steel and Plates shall be A-36.
  - b. W-Shape Beams shall be  $F_y=50 \text{ ksi}$  and  $M_x=36$ .
  - c. Structural tubing shall be ASTM A-500, Grade B ( $F_y=48 \text{ ksi}$ ).
  - d. Structural pipe shall be ASTM A-53, Grade B ( $F_y=48 \text{ ksi}$ ).
  - e. Tube or S. ( $F_y=50 \text{ ksi}$ ), ASTM A572 Grade 42 ( $F_y=42 \text{ ksi}$ ) or ASTM A572 Grade 50 ( $F_y=50 \text{ ksi}$ ), unless otherwise noted.
  - f. (See drawing for additional material specifications)
5. Anchor Bolt ( $\phi$  required) and  $\text{ASTM A-307}$  Grade B, unless otherwise noted.
6. High strength bolts to concrete shall be  $\text{ASTM A-325}$ , unless otherwise noted.
7. Welding electrodes shall comply with AWS E-11 (Current Edition), E-70XX
8. Design and Detailing: 123, 404, 1116, 1117, 1118
9. Equivalent Wind Load:  $62.22 \text{ PSF} @ 40 \text{ mph}$ , above the ground. (3. See Wind Loads Table)
10. Exposure:  $C_u=1.0$ ,  $C_e=1.0$
11. Soil Bearing Capacity Requirements:
  - a. Spread Footings shall be  $\frac{10000}{\text{SF}}$
  - b. Cais or Auger Footing: Minimum lateral Soil Bearing Capacity shall be  $1360 \text{ kPa} \cdot \text{SF} \cdot 2500 \text{ kPa}$  per foot of depth. (3) same as per 105 Section 105.13 in the same or item 105.14.
12. Contractor shall verify all dimensions and quantities in the field before erection and notify the Engineer of any discrepancies.
13. Grading of pipe piling or equal diameter, and shall be a minimum 1/4" penetration depth at strand (see AWS D-1) shall be used and must be performed by a certified arcwelder (splices shall not be where the full depth of the pile would be required). 10 down grade or within 10" above telescoping splices (use one hole otherwise)
14. The structure shown on drawing is capable of supporting up to 10' (1) depth of soil, existing  $\text{FCI}2500 \text{ P-S1}$

**Selective Structures, LLC**  
811 East Avenue  
Athens, TN 37303

10'-6" x 36'-0" CM, 15'V @ 40'-0" O.A.H  
w/Up to Two (2) 4,725# Digital Units  
Location: 211 US-80  
Savannah, GA

**GINN**  
ENGINEERING  
SERVICES

6000 ENGINEERING SERVICES, LLC  
1971 PLATONCK RD.  
WATZONSVILLE, GA 30677  
678 233 0872

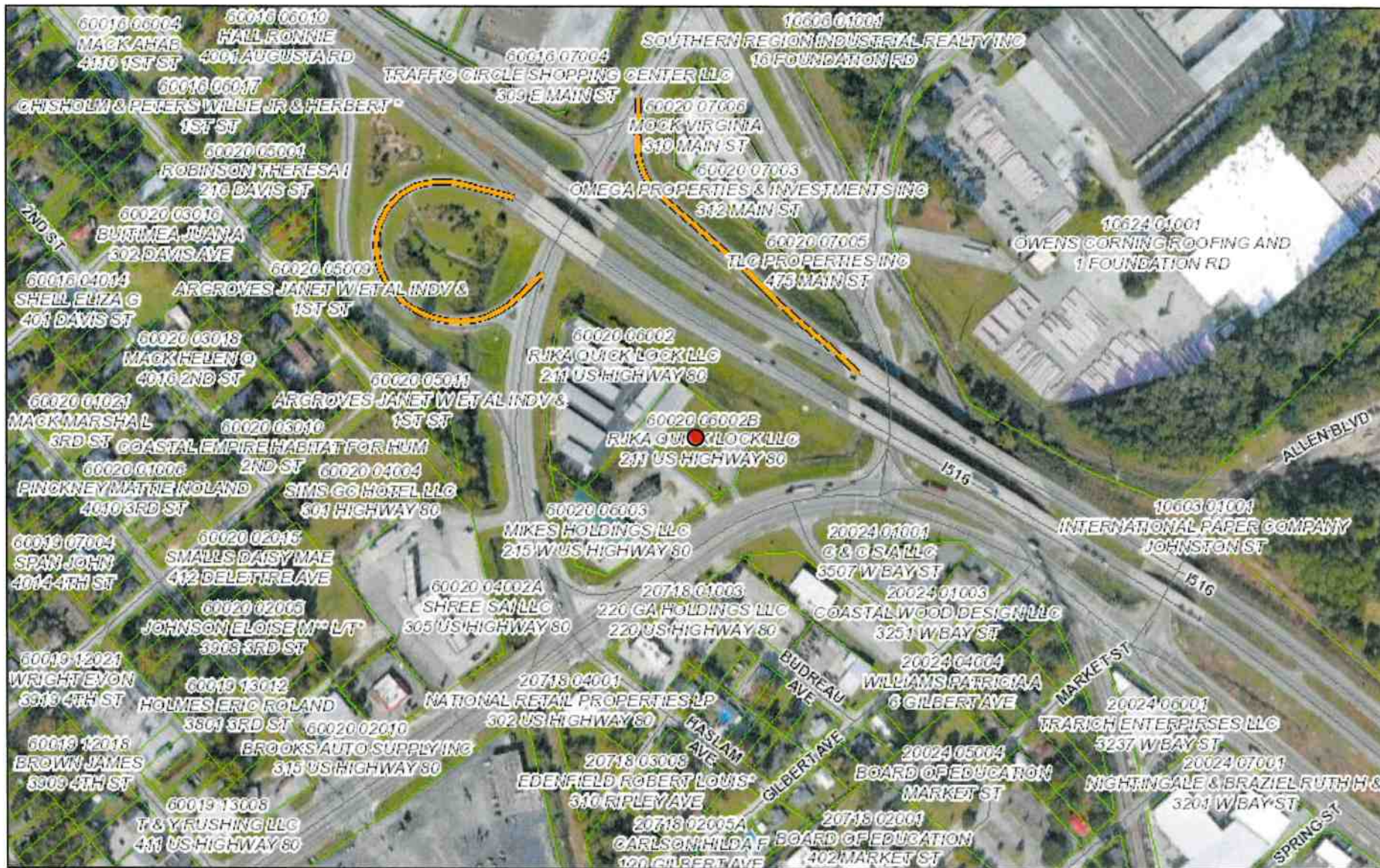


ST. ALMONS

DRAWN BY	AC
DATE	12/23/22
SELECTED	Permittion
SCALE	1/4"
PROJ #	000000
DWG #	AC-01

DRIVEN BY	Doc
DATE	12/1/82
SELECTIVE	Permittion
SCALE	1/4"
PROJ #	000000
DWG #	AG-013

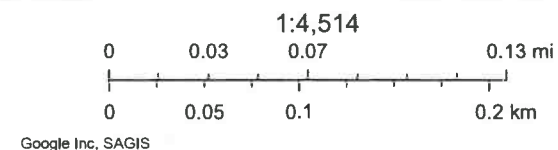




Local Roads  
 Major Roads  
 Parkways

Interstate  
 Local Roads  
 Major Roads

Parkways  
 Interstate  
 Owner, PIN and Address Labels





# City of Garden General Development Plan Application



## Development Information

<b>Development Name</b>		
Beacon Outdoor Billboard		
<b>Property Address</b>		
4904 Augusta Rd		
<b>Phased development?</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<b>If yes, indicate proposed number of phases:</b>		
<b>Parcel ID</b>	<b>Total Site Acreage</b>	<b>Zoning</b>
60009 02004	.6405	C-2
<b>Project Description</b>		
Erect a LED billboard on the property		
<b>Water Supply</b>		
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		
<b>Sewage Disposal</b>		
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		

## Applicant Information

<b>Owner</b>	
<b>Name</b>	<b>Address</b>
Thomas C Welch	4904 Augusta Rd
<b>Phone</b>	<b>Email</b>
912-964-9222	threeguysautomotive@gmail.com
<b>Engineer/Surveyor</b>	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
<b>Company Name</b>	<b>Contact (Individual Name)</b>
<b>Phone</b>	<b>Email</b>
<b>Authorized Agent (Requires Authorized Agent Form)</b>	
<input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Beacon Outdoor Advertising	Lou Ferrando
<b>Phone</b>	<b>Email</b>
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando  
Print Name  
Signature  
Date 2/9/23

OFFICE USE ONLY		
<b>Received By</b>	<b>Date Received</b>	<b>Case Number</b>
<b>Submittal Format</b>	<b>Fee Amount Paid</b>	<b>Invoice Number</b>
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2315 – Billboard – 4904 Augusta Road

<i>Application Type</i>	<i>Sign Permit/Site Plan</i>
<b>Case Number</b>	PC 2314
<b>Applicant</b>	Beacon Outdoor Billboards
<b>Name of Project</b>	Billboard
<b>Property Address</b>	4904 Augusta Road
<b>Parcel IDs</b>	60009 02004
<b>Area of Property</b>	0.64 acres
<b>Current Zoning</b>	C-2
<b>Proposed Land Use</b>	Outdoor Advertising (Billboard)/Separate Use Sign

## GENERAL INFORMATION

*Project Description:* The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

## FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

## RECOMMENDATION

**Approval** of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

*Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.*





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735

## SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	Billboard
Property Address:	4904 Augusta Rd Garden City, GA
Property Owner:	Thomas C. Welch
Proposed use of Building:	Advertising
Materials to be used:	Steel
Height of Sign:	40'
Square Footage of Proposed Sign:	382 sq ft
Pin Listing:	60009 02004
Zoning Classification:	C3 - Commercial Lots

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando  
Name (Print)  
PO Box 6183 Athens, GA 30606  
Address

Beacon Outdoor Advertising  
Company Name  
706-540-4212  
Phone Number

  
Signature

\*\*\*\*\*

### OFFICE USE ONLY

Plan Submitted: \_\_\_\_\_

Permit Fee: \$ \_\_\_\_\_

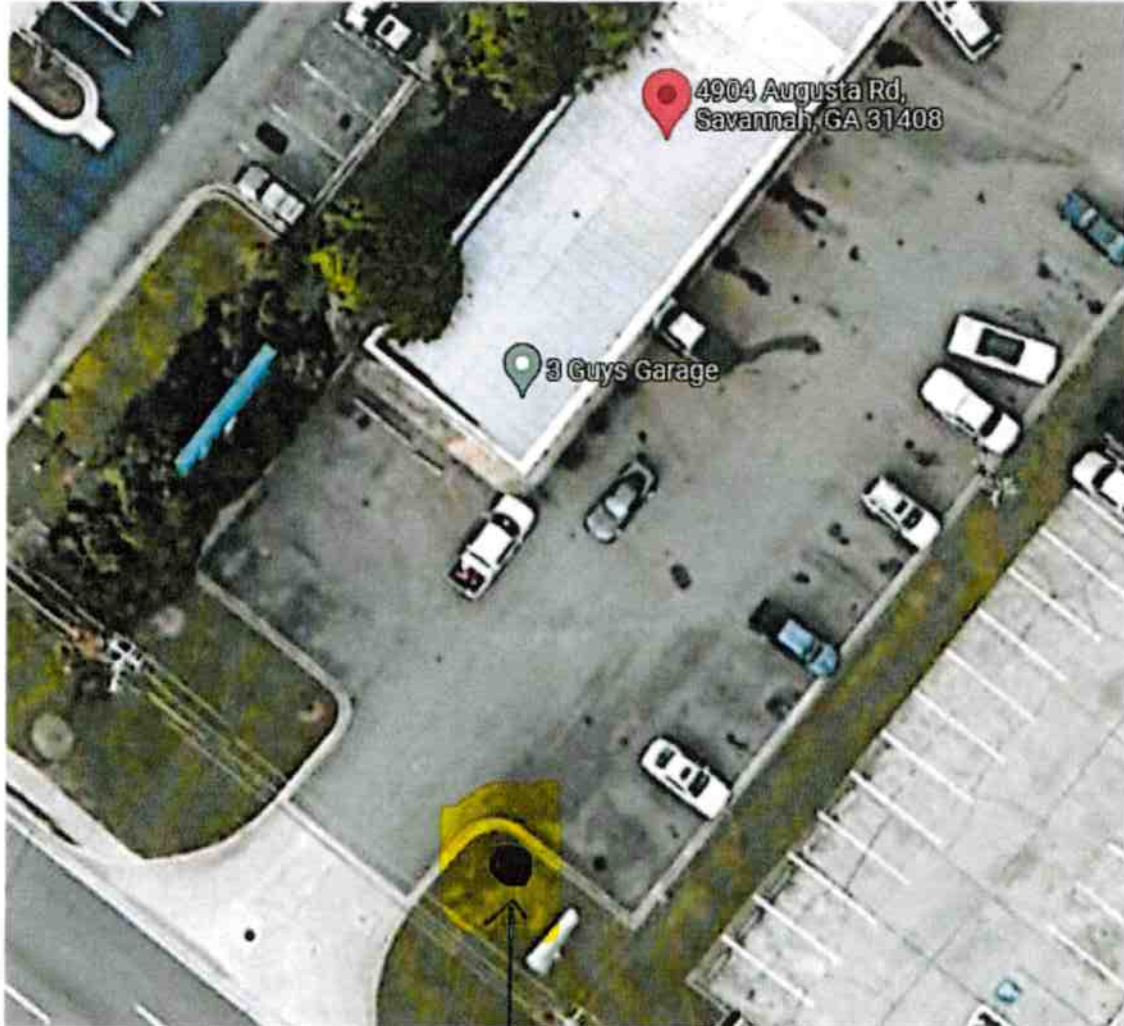
The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

\_\_\_\_\_  
Building Inspector / Code Enforcement Officer





The City of Garden City, Georgia  
100 Central Avenue, Garden City, Georgia 31405  
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location

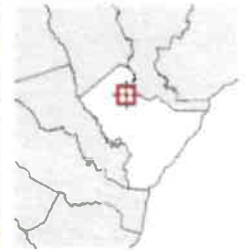




# Chatham County, GA



## Overview



## Legend

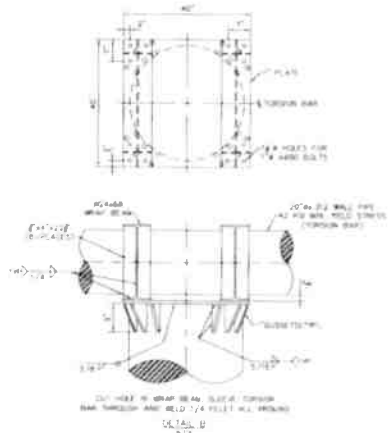
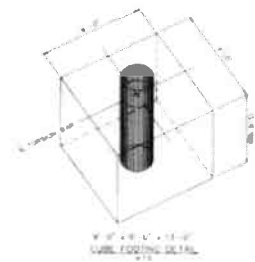
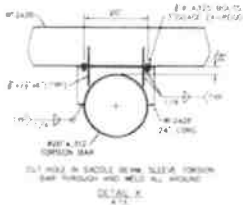
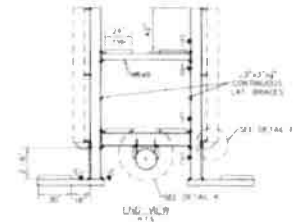
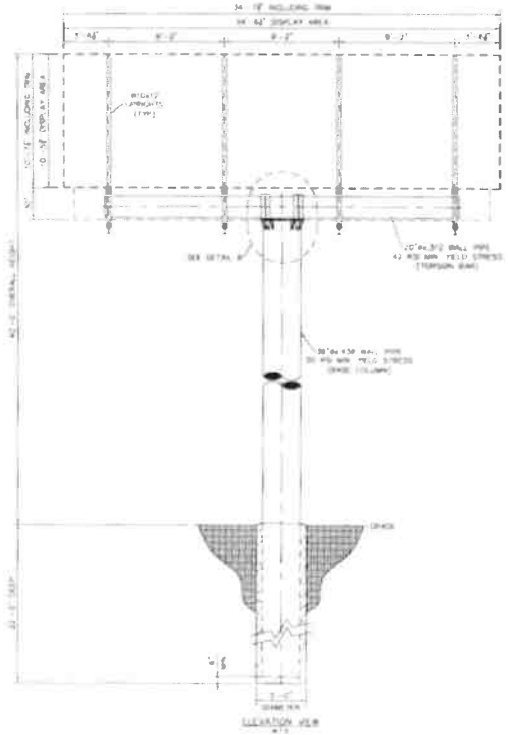
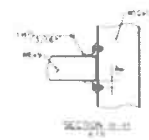
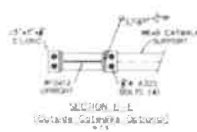
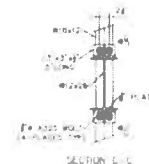
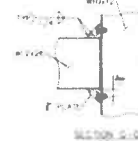
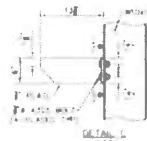
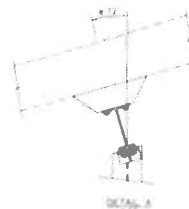
- Parcels
- Water

Parcel ID	60009 02004	Alternate ID	2953297	Owner Address	WELCH THOMAS C IV
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		4904 AUGUSTA RD
Property Address	4904 AUGUSTA RD	Acreage	0.63		GARDEN CITY, GA 31408
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	TCT 56 SUB OF 61 THRU 75 IND CITY GARDENS easement PRB 39P 78				
	(Note: Not to be used on legal documents)				

Date created: 1/21/2023  
Last Data Uploaded: 1/21/2023 11:38:27 AM



Figure 1 is a plan view of a 12' exterior girder. It shows the layout of the deck, stiffeners, and reinforcement. The diagram includes labels for "12' EXTERIOR (Girder)", "SEE DETAIL A", and "PLAN GIRDER".

[illegible]

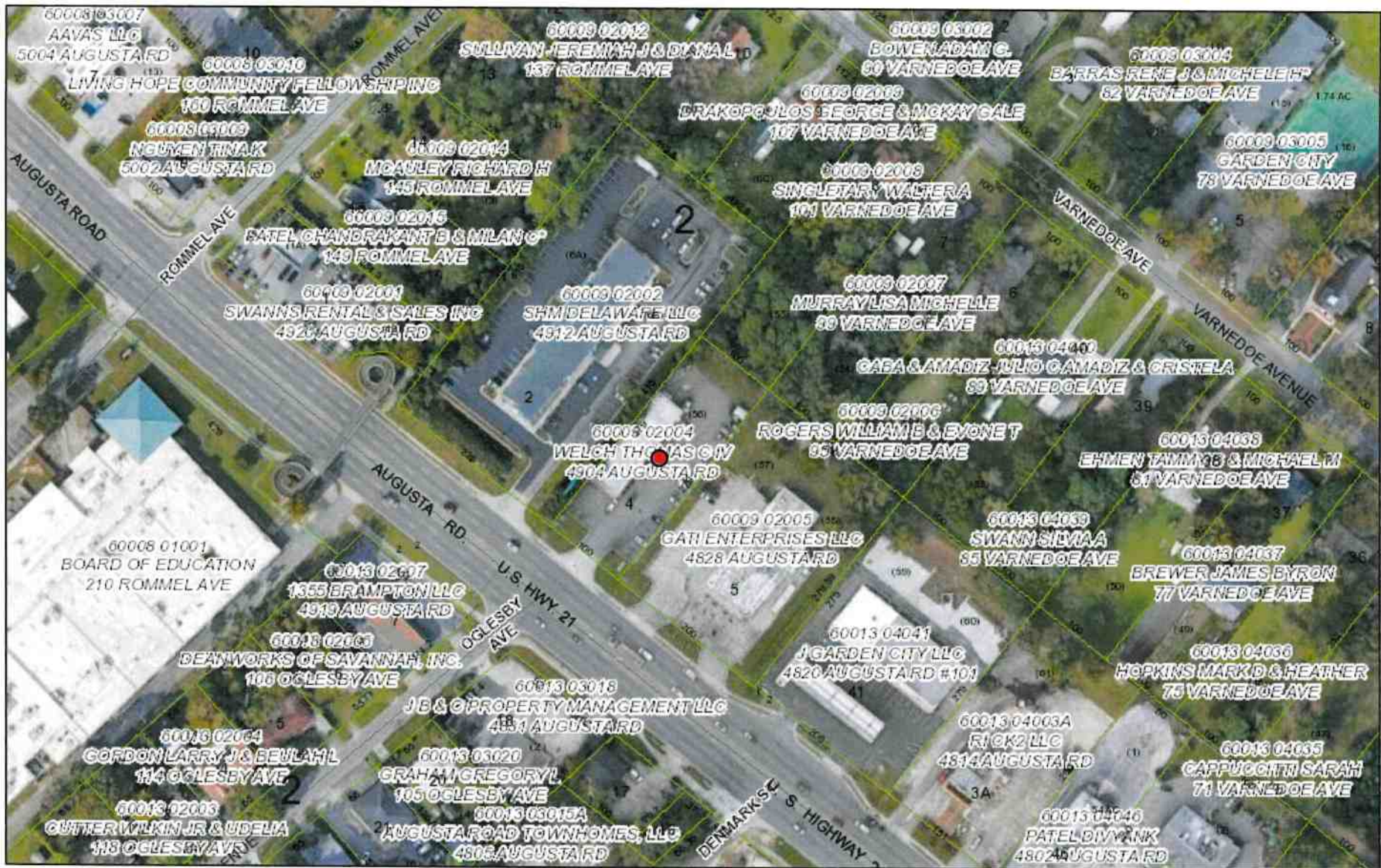
**Selective Structures, LLC**  
811 East Avenue  
Athens, TN 37003



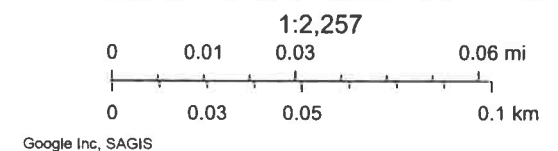
**GINN**  
PUBLISHING  
SERVICES

DATE	2/1/73
OBJECTIVE #	Agreement
SCALE	1/4" = 1'
PROJ #	XXXXXX
DOC #	AC-014
SHEET #	1 OF 1





Local Roads	Interstate	Parkways
Major Roads	Local Roads	Interstate
Parkways	Major Roads	Owner, PIN and Address Labels





# City of Garden Site Plan Application



G A R D E N C I T Y

## Development Information

<b>Development Name</b>		
RaceTrac Dean Forest		
<b>Property Address</b>		
0 Dean Forest Road, Savannah, GA 31408 (address not provided on parcel map)		
<b>Phased development?</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <b>If yes, indicate proposed number of phases:</b> N/A		
<b>Parcel ID</b>	<b>Total Site Acreage</b>	<b>Zoning</b>
60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002	46.01	C-2A and I-2
<b>Project Description</b>		
Convenience Store with fueling stations and parking.		
<b>Water Supply</b>		<b>Sewage Disposal</b>
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private		<input type="checkbox"/> Public <input type="checkbox"/> Private

## Applicant Information

<b>Owner</b>	
<b>Name</b>	<b>Address</b>
RaceTrac Petroleum, Inc.	200 Galleria Parkway, Suite 900, Atlanta, GA 30339
<b>Phone</b>	<b>Email</b>
770-595-0309	tpease@racetrac.com
<b>Engineer/Surveyor</b> <input checked="" type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
Thomas & Hutton	Charles Ezelle and Rebecca Montgomery
<b>Phone</b>	<b>Email</b>
912-466-0536	montgomery.r@tandh.com; ezelle.c@tandh.com
<b>Authorized Agent (Requires Authorized Agent Form)</b> <input type="checkbox"/> Check here to receive staff review comments via email	
<b>Company Name</b>	<b>Contact (Individual Name)</b>
<b>Phone</b>	<b>Email</b>

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Tommy Pease

Print Name

Signature

Date

2/2/2023

OFFICE USE ONLY			
<b>Received By</b>	<b>Date Received</b>	<b>Case Number</b>	
<b>Submittal Format</b>	<b>Fee Amount Paid</b>	<b>Invoice Number</b>	
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both			





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2316 – RaceTrac – Dean Forest and U.S. Highway 80

<b>Application Type</b>	<b>General Development Plan</b>
<b>Case Number</b>	PC 2316
<b>Applicant</b>	RaceTrac Petroleum
<b>Name of Project</b>	RaceTrac
<b>Property Address</b>	0 Dean Forest Road
<b>Parcel IDs</b>	60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002
<b>Area of Property</b>	46.01 acres
<b>Current Zoning</b>	C-1 and I-1
<b>Proposed Land Use</b>	Convenience store with fueling stations

## GENERAL INFORMATION

**Project Description:** The applicant is proposing to develop a gas station and convenience store on the southeast quadrant of U.S. Highway 80 and State Route 307 (Dean Forest). The properties have been combined into one parcel. The southern portion of the property consists of wetlands and is protected through a conservation easement.

## FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- 1. Proposed uses and overall development plan**  
The proposed use is permitted in C-1 zoning.  
Use (46) Automobile service station, including automobile washeteria: R-I-N(B), C-1, C-2, C-2A, C-2A(B & W), I-1.  
The following regulations shall apply to this use:
  - a. Major auto repair shall not be permitted.





- b. Gasoline pumps and service areas for gasoline pumps shall not be permitted within the required front yard setback established for the particular class of street in the zoning district within which the service station is located.
    - c. All service, storage or similar activities connected with such use shall be conducted entirely on the lot on which such use is located.
2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*  
The proposed building is tan brick with glass entry doors and vertical accents. The building is partially surrounded by an awning which covers outdoor seating areas.
3. *Fences, landscaping, and buffers.*  
The site will retain an area of existing vegetation adjacent to U.S. Highway 80, as well as the wetlands on the southern portion of the property. Additional landscaping will be added throughout the site in landscape islands and adjacent to the convenience store.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
  - The site is designed to separate passenger vehicles and trucks through the entry points, fueling station location and design, and signage/pavement markings. The applicant has provided additional information regarding the proposed signage.
  - U.S. Highway 80 access: There are two ingress/egress points.<sup>1</sup> The eastern driveway is intended for passenger vehicular traffic and allows a right-in, right-out only. The western driveway is intended for truck traffic and allows for full access to and from U.S. Highway 80.
  - State Route 307 access: There is one access point which allows three-quarter access to the highway. Right-in and right-out movements are allowed for passenger vehicles and trucks. Passenger vehicles will be allowed to turn left (southbound) onto State Route 307. Trucks will be discouraged from turning left at this point through the intersection design, including the installation of raised concrete islands. No left turns into the site will be permitted at this point.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*  
Two monument signs are proposed, one adjacent to U.S. Highway 80 and the other adjacent to State Route 307. Any signage shall comply with the City of Garden City ordinances and will require a sign permit. There is an existing billboard on the property at the intersection.

## RECOMMENDATION

### **Approval of the General Development Plan.**

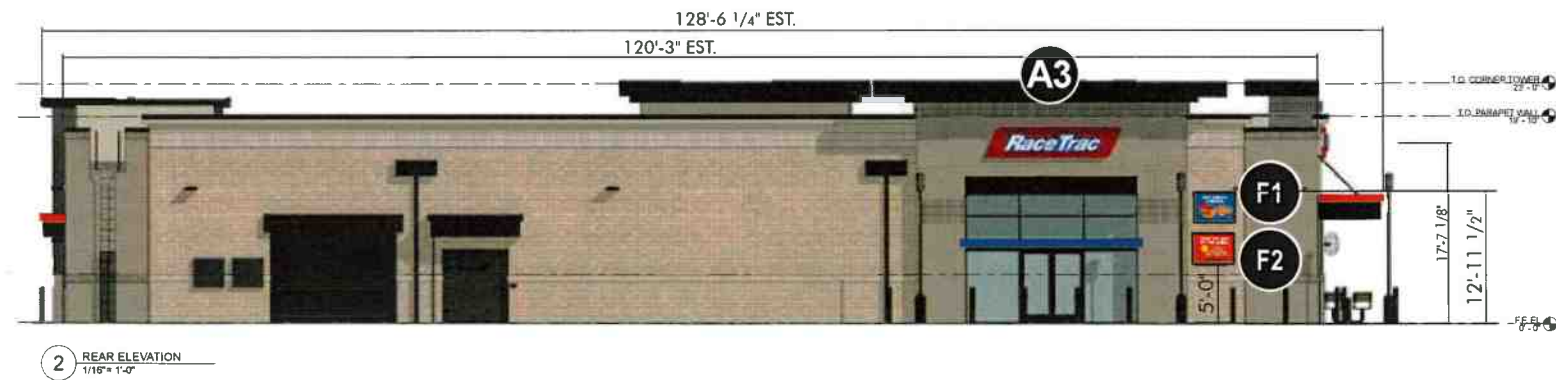
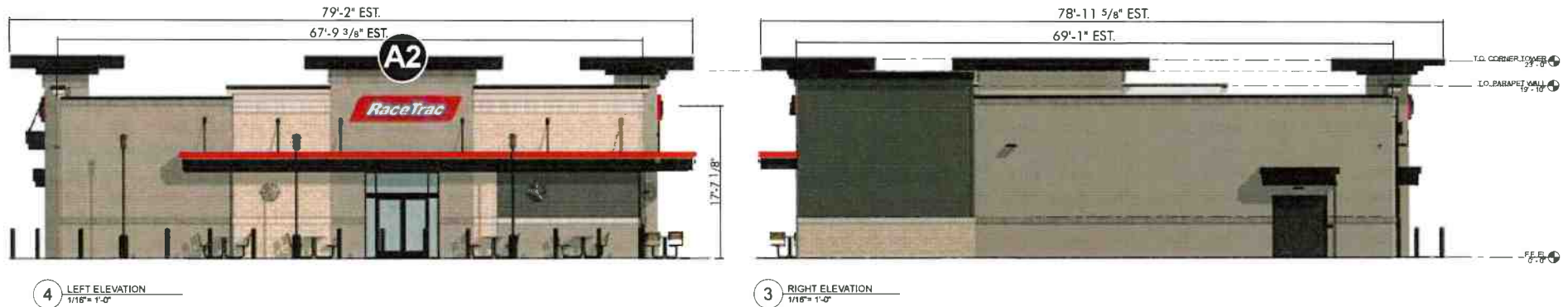
#### *Note:*

*Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.*

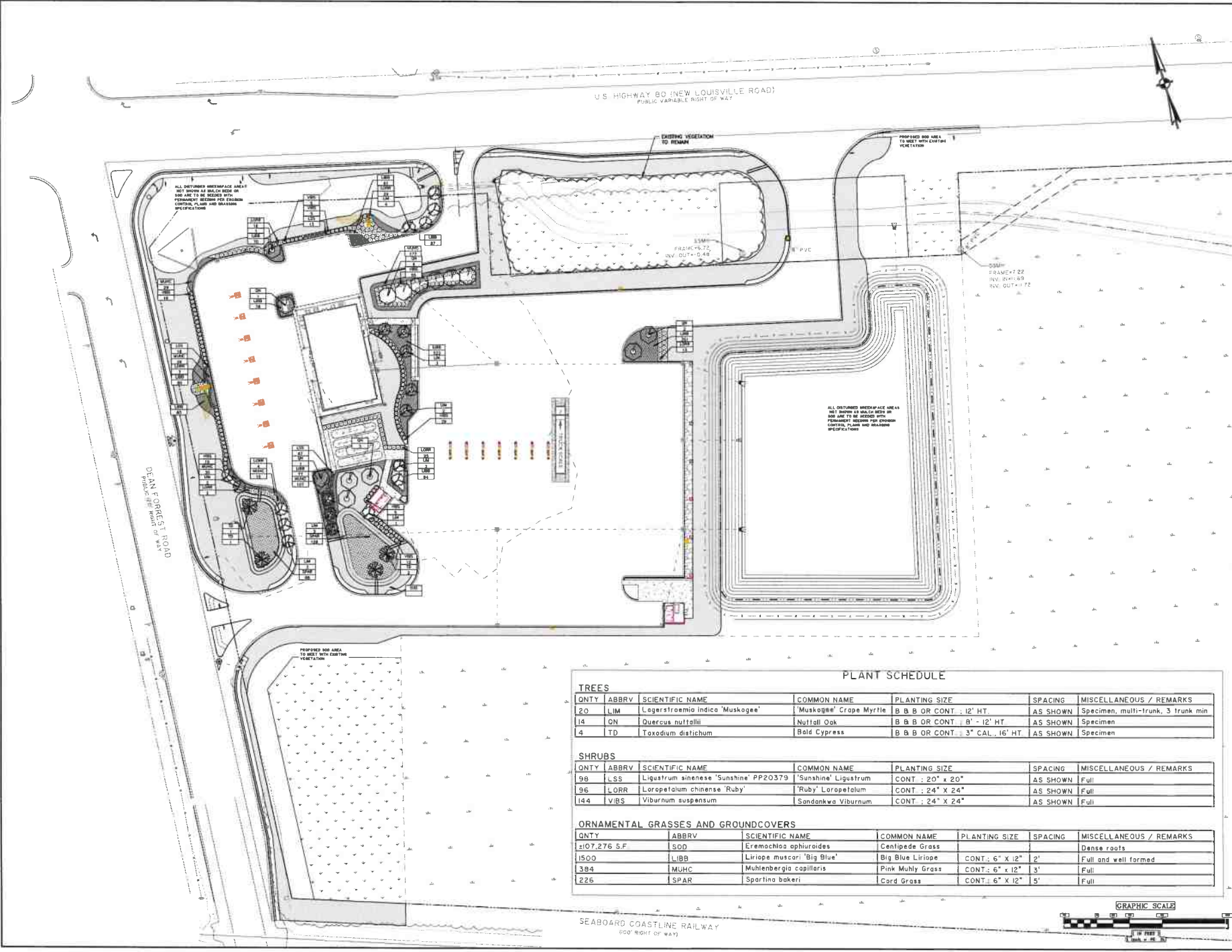












PLANT SCHEDULE						
TREES						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
20	LIM	Lagerstroemia indica 'Muskogee'	'Muskogee' Crape Myrtle	B & B OR CONT : 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min
14	ON	Quercus nuttallii	Nuttall Oak	B & B OR CONT : 8' - 12' HT.	AS SHOWN	Specimen
14	TD	Taxodium distichum	Bald Cypress	B & B OR CONT : 3" CAL., 16' HT.	AS SHOWN	Specimen
SHRUBS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
98	LSS	Ligustrum sinense 'Sunshine' PP20379	'Sunshine' Ligustrum	CONT : 20" x 20"	AS SHOWN	Full
96	LORR	Loropetalum chinense 'Ruby'	'Ruby' Loropetalum	CONT : 24" x 24"	AS SHOWN	Full
144	VIBS	Viburnum suspensum	Sondekwa Viburnum	CONT : 24" x 24"	AS SHOWN	Full
ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
±107,276 S.F.	SOD	Eremochloa ophiuroides	Centipede Grass			Dense roots
1500	LIIB	Liriope muscari 'Big Blue'	Big Blue Liriope	CONT : 6" x 12"	2'	Full and well formed
384	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	CONT : 6" x 12"	3'	Full
226	SPAR	Spartina bakeri	Cord Grass	CONT : 6" x 12"	5'	Full



**THOMAS HUTTON**  
 50 Park of Commerce Way  
 Savannah, GA 31405 • 912.234.5300  
 www.thomashutton.com

**RACETRAC PETROLEUM, INC.**  
 CUSTODIAN CONTRACTOR  
 RACETRAC DEAN FOREST  
 PLANTING PLAN

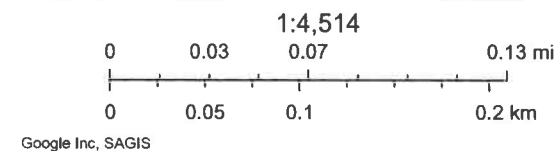
DATE: 7/28/2008  
 DRAWN: LHM  
 CHECKED: LHM  
 APPROVED: LHM  
 SCALE: 1" = 10'

**L1.1**





Local Roads Interstate Parkways  
Major Roads Local Roads Interstate  
Parkways Major Roads Owner, PIN and Address Labels





# City of Garden Site Plan Application



2014-2015

## Development Information

### Development Name

Farmers Market Center Site Development

### Property Address

4107-C- Eighth Street Savannah

### Phased development?

If yes, indicate proposed number of phases:

☐ Yes ☒ No

### Parcel ID

### Total Site Acreage

### Zoning

60022 03032

0.79

### Project Description

New Retail Building

### Water Supply

### Sewage Disposal

☒ Public ☐ Private

☒ Public ☐ Private

## Applicant Information

### Owner

#### Name

Andrew Morris

#### Address

4107-C- Eighth Street Savannah

#### Phone

843-4414085

#### Email

andrew@savannahhydro.com

### Engineer/Surveyor

☐ Same as authorized agent

☒ Check here to receive staff review comments via email

#### Company Name

T.R. Long Engineering P.C.

#### Contact (Individual Name)

Joseph Stuckey

#### Phone

9123351046

#### Email

jstuckey@trlongeng.com

### Authorized Agent (Requires Authorized Agent Form)

☒ Check here to receive staff review comments via email

#### Company Name

#### Contact (Individual Name)

#### Phone

#### Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Andrew Morris

Print Name

Signature

2-21-23  
Date

### OFFICE USE ONLY

#### Received By

#### Date Received

#### Case Number

#### Submittal Format

#### Fee Amount Paid

#### Invoice Number





# MEMORANDUM

**To:** Garden City Planning Commission & Board of Appeals  
**From:** Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant  
**Date:** March 7, 2023  
**Re:** PC 2317 – 4107C 8<sup>th</sup> Street

<b>Application Type</b>	<b>General Development Plan</b>
<b>Case Number</b>	PC 2317
<b>Applicant</b>	Andrew Morris
<b>Name of Project</b>	4107 8 <sup>th</sup> Street
<b>Property Address</b>	4107 8 <sup>th</sup> Street
<b>Parcel IDs</b>	60022 03032
<b>Area of Property</b>	0.74 acres
<b>Current Zoning</b>	C-2
<b>Proposed Land Use</b>	Retail

## GENERAL INFORMATION

*Project Description:* The applicant is proposing to build a new retail building to replace the current building on this property.

## FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- 1. Proposed uses and overall development plan*  
Retail stores are permitted in the C-2 zoning district. The proposed plan includes a new retail building, parking, and landscaping.
- 2. Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*  
The applicant submitted an initial sketch of the proposed building, which is a metal building with a shed roof. The applicant has not finalized the plans for the façade, but anticipates using brick or reclaimed wood for the front of the building, similar to the two adjacent buildings.



3. *Fences, landscaping, and buffers.*  
The proposed development provides landscaping in the parking area and adjacent to the building.
4. *Driveway and parking orientation, in keeping with the established character in the area.*  
Access to the property is provided via 8<sup>th</sup> street and Anderson Avenue.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*  
Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

### RECOMMENDATION

#### **Approval of the General Development Plan.**

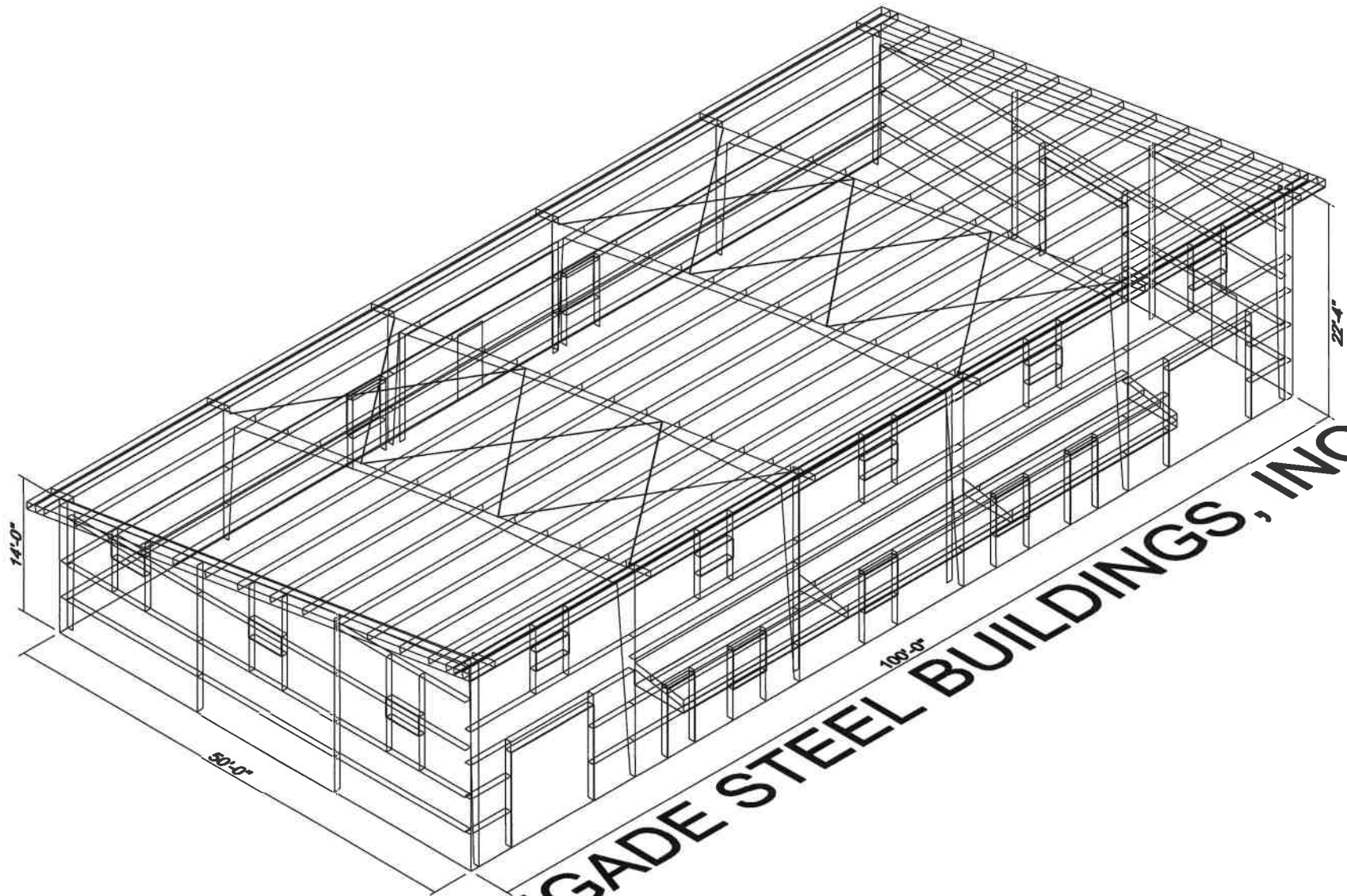
*Note:*

*Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.*









RENEGADE STEEL BUILDINGS, INC.





- |             |             |                               |
|-------------|-------------|-------------------------------|
| Local Roads | Interstate  | Parkways                      |
| Major Roads | Local Roads | Interstate                    |
| Parkways    | Major Roads | Owner, PIN and Address Labels |

