

AGENDA

Board of Zoning Appeals / Planning Commission Meeting
Tuesday, March 14, 2023 - 6:00pm

Pre-agenda @ 5:00pm

- ✧ **Call to Order**
- ✧ **Roll Call**
- ✧ **Approval of Agenda – March 14, 2023**
- ✧ **Approval of Board of Zoning Appeals/Planning Commission Minutes**
 - February 14, 2023
- ✧ **Zoning Appeals**
 - PC2311: Jamie S. Graham requests a variance for an additional billboard at 1518 Old Dean Forest Rd ; PIN: 60963 01001.
- ✧ **Adjournment**
- ✧ **Planning Commission**
 - Old Business**
 - PC2243: Brian C. Hollings requests general development plan review of Anderson Avenue; PINs: 60022 01001, 60022 01004, 60022 01005, 60021 01001, 60021 01002, 60021 01003, 60021 01004, 60021 01005, 60021 01006.
 - New Business**
 - PC2308: CenterPoint Properties requests a subdivision into 8 lots from 2200 Dean Forest Rd, PIN: 60986 01002.
 - PC2307: Walter Clark requests a general development plan review of 123 Beasley Rd; PIN: 60988A02004. Development Name: Goodship Logistics.
 - PC2309: Dewitt Tilton Group requests a general development plan review of 5440 Augusta Rd; PIN: 60818 01010. Development Name: 5440 Augusta Rd Car Wash.
 - PC2310: Roberts Management Inc requests a general development plan for a billboard at Heidt Ave; PIN: 60802 07001A
 - PC2312: William Grainger requests a general development plan for a billboard at 0 Salt Creek Rd ; PIN: 60960 01001.
 - PC2313: Beacon Outdoor Billboards requests a general development plan for a billboard at 2606 US Highway 80; PIN: 60926 03031.

- PC2314: Beacon Outdoor Billboards requests a general development plan for a billboard at 211 US Highway 80; PIN: 60020 06002B.
- PC2315: Beacon Outdoor Billboards requests a general development plan for a billboard at 4904 Augusta Rd; PIN: 60009 02004.
- PC2316: RaceTrac Petroleum Inc requests a general development plan review of 0 Dean Forest Rd; PINs: 60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002.
- PC2317: Andrew Morris requests a general development plan review of 4107C 8th St; PIN: 60022 03032.

✧ **Adjournment**

Public Hearing and Consideration by City Council for PC2308 is scheduled for public hearing on March 20th 2023 at 6pm in the Council Chambers, and for City Council Consideration on April 03rd 2023 at 6pm in the Council Chambers, 100 Central Avenue, Garden City, Georgia 31405.

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S CONSOLIDATED BOARD OF ZONING APPEALS/PLANNING
COMMISSION AND STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWERS OF THE
BOARD OF ZONING APPEALS AND THE PLANNING COMMISSION**

I. Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission on matters referred to it shall be called to order by the presiding officer.
- (2) The presiding officer shall open the hearing by stating the specific zoning matter being considered at the public hearing, and shall explain the procedures to be followed in the conduct of the hearing and further stating that printed copies of the adopted standards governing the exercise of the zoning powers of the Board of Zoning Appeals and Planning Commission, and the procedures governing hearings before the Board are available to the public.
- (3) The presiding officer shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (4) When there is a large number of individuals wishing to testify at a hearing, the presiding officer may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The presiding officer may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (5) The petitioner requesting the proposed decision, or the petitioner's agent, shall be recognized first and shall be permitted to present and explain the request for the decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the matter.
- (6) After all individuals have had an opportunity to speak in accordance with subparagraph (5) above, those individuals present at the public hearing who wish to speak in opposition to the proposed decision shall have an opportunity to speak.
- (7) Once all parties have concluded their testimony, the presiding officer shall adjourn the public hearing.

II. Standards Governing the Exercise of The Zoning Powers of Garden City's Board of Zoning Appeals:

The Board of Zoning Appeals shall have the following powers:

- (1) To hear and decide appeals where it is alleging that there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 90 of the Garden City Code of Ordinances.
- (2) To decide upon requests for permission to establish uses which the Board of Zoning Appeals is required to pass under the terms of Chapter 90 of the Garden City Code of Ordinances. The application to establish such use shall be approved on a finding of the Board of Zoning Appeals that:
 - (a) The proposed use does not affect adversely the general plans for the physical development of the city, as embodied in Chapter 90 of the Garden City Code of Ordinances and in any master plan or portion thereof adopted by the Mayor and Council.
 - (b) The proposed use will not be contrary to the purposes stated for Chapter 90 of the Garden City Code of Ordinances.
 - (c) The proposed use will not affect adversely the health and safety of residents and workers in the city.
 - (d) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.
 - (e) The proposed use will not adversely affect the existing uses in the neighborhood.
 - (f) The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of such use.
 - (g) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.

- (h) The standards set forth for each particular use for which a permit may be granted have been met.

The Board of Zoning Appeals may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community and to protect the value and use of the property in the general neighborhood. The proposed use shall be subject to the minimum area, setback, and other locational requirements of the zoning district in which it will be located. The proposed use shall be subject to the off-street parking and service requirements of Chapter 90 of the Garden City Code of Ordinances. Wherever the Board of Zoning Appeals shall find, in the case of any permit granted pursuant to the provisions of said Chapter 90, that any of the terms, conditions or restrictions upon which such permit was granted are not being complied with, the Board shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.

- (3) To authorize upon appeal in specific cases such variance from the terms of Chapter 90 of the Garden City Code of Ordinances as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of said Chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the Board of Appeals that:
 - (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
 - (b) The application of said Chapter 90 to this particular piece of property would create practical difficulty or unnecessary hardship;
 - (c) Such conditions are peculiar to the particular piece of property involved; and,
 - (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of said Chapter 90.

No variance shall be granted for a use of land or building or structure that is prohibited by Chapter 90 of the Garden City Code of Ordinances.

III. Powers and Duties of the Planning Commission.

The Planning Commission is granted all powers and is assigned all duties that the City's Mayor and Council is authorized and empowered to grant and assign, to include the following:

- (1) Making comprehensive surveys and studies of existing conditions and probable future developments and preparing such plans for physical, social, and economic growth as will best promote the public health, safety, morals, convenience, prosperity, or general welfare, as well as efficiency and economy in the development of the city.
- (2) Preparing a master plan or parts thereof for the development of the city.
- (3) Preparing and recommending for adoption to the city council a zoning ordinance or resolution and map for the city.
- (4) Preparing and recommending for adoption to the city council regulations for the subdivision of land within the city, and administering the regulations that may be adopted.
- (5) Preparing and recommending for adoption to the city council a plat or an official map showing the exact location of the boundary lines of existing, proposed, extended, widened, or narrowed streets, public open spaces, or public building sites, together with regulations to control the erection of buildings or other structures within such lines, within the city or a specified portion thereof.
- (6) Making, publishing, and distributing maps, plans, and reports and recommendations relating to the master plan and development of the city to public officials and agencies, public utility companies and civic, educational, professional, and other organizations and citizens.
- (7) Recommending to the executive or legislative officials of the city programs for public improvements and the financing thereof.
- (8) Reviewing all proposed amendments to the zoning ordinance, the subdivision ordinance, and the zoning map, and making recommendation as per Garden City Code Section 90-201 in each case to the city council for approval or denial.
- (9) Approving site and development plans as per Garden City Code Sections 90-43, 90-47, 90-48 and 90-49.
- (10) Approving certain uses in the mixed-use zoning districts as per Garden City Code Section 90-49.

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S MAYOR AND COUNCIL
AND STANDARDS GOVERNING THE EXERCISE OF CITY COUNCIL'S ZONING POWER**

Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Board of Zoning Appeals for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings by the Mayor and Council on zoning amendments shall be chaired by the Mayor.
- (2) The Mayor shall open the hearing by stating the specific zoning amendment being considered at the public hearing and further stating that printed copies of the adopted standards governing the exercise of the Mayor and Council's zoning power and the procedures governing the hearing are available to the public.
- (3) The Director of the City's Planning and Zoning Department shall advise the Mayor and Council of the recommendation of the Planning Commission when applicable.
- (4) The Mayor shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (5) When there is a large number of individuals wishing to testify at a hearing, the Mayor may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The Mayor may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (6) The petitioner requesting such zoning decision, or the applicant's agent, shall be recognized first and shall be permitted to present and explain the request for the zoning decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the zoning decision.
- (7) After all individuals have had an opportunity to speak in accordance with subparagraph (6) above, those individuals present at the public hearing who wish to speak in opposition to the requested zoning decision shall have an opportunity to speak.
- (8) The Mayor may limit repetitious comments in the interest of time and may call for a show of hands of those persons present in favor of or opposed to the proposed decision.
- (9) It shall be the duty of the Mayor to maintain decorum and to assure the public hearing on the proposed decision is conducted in a fair and orderly manner.
- (10) Once all parties have concluded their testimony, the Mayor shall adjourn the public hearing.

Standards Governing the Exercise of The Zoning Powers of Garden City's Mayor and Council:

Prior to making a zoning amendment, the Mayor and Council shall evaluate the merits of a proposed amendment according to the following criteria:

- (1) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (2) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (3) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
- (4) Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?
- (5) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- (6) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?

Board of Zoning Appeals/Planning Commission
February 14, 2023 - 6:00PM

Opening: Vice-Chair Jenecia Perry welcomed everyone and called the meeting to order.

Roll Call: Jenecia Perry; Vice-Chair, Jeff Ashley; Parliamentarian, Michael Bruner, Misty Selph, Gary Monroe, and Charles Orrel. Billy Jackson and Nancy Cox were absent.

Staff: Denise Grabowski (Planning Manager -Consultant-), Jonathan Trego (Code Enforcement Officer), and Scott Robider (City Manager).

Visitors: Enclosed

Commissioner Ashley Jackson made a motion to remove the tabled items from the agenda. Commissioner Selph seconded. Motion passes with no opposition.

Vice-Chair Perry calls for a motion to approve the agenda. Commissioner Selph made a motion, Commissioner Ashley seconded, vote passes with no opposition.

Vice-Chair Perry made a motion to approve the minutes from the prior meeting, Commissioner Ashley seconded, vote passes with no opposition.

Planning Commission

PC2301: 1608 Dean Forest LLC requests a rezoning of 1616 Dean Forest Rd, 60988 01001B from I-1 to I-2.

Vice-Chair Perry introduced the item and called for a speaker for the application.

Ryan Smith, applicant, approached and introduced himself and the project.

Commissioner Monroe asked if the project would include a recombination.

The applicant said the parcels would most likely be combined.

Commissioner Monroe asked about the total size of the project.

Denise Grabowski said that the total size was 3.88 acres.

Commissioner Monroe asked if the adjacent property was also industrial.

Denise Grabowski said yes.

Commissioner Ashley asked about access to the property.

The applicant said there would be the same access point as the other parcel.

Commissioner Ashley said he was concerned about the proximity of the container parking to the nearby houses.

Vice-chair Perry asked for additional questions and then additional speakers. Being none, Vice-chair Perry called for a motion.

Commissioner Monroe made a motion to approve, Commissioner Bruner seconded, vote passes 5-0 (Commissioner Selph left the stage and did not vote).

Commissioner Monroe said that he made a motion for the wrong case number and made a motion to correct the case number and vote, Commissioner Orrel seconded. Vote passes 6-0.

PC2302: Daniel Vallencourt request a general development plan review of 204 Dean Forest Road; 60924A 02011.

Vice-chair Perry asked for a speaker in favor of the applicant.

Daniel Vallencourt approached and gave an overview of the project.

Vice-chair Perry asked for staff recommendation.

Denise Grabowski said the recommendation is approval.

Commissioner Selph gave welcomes to Garden City and asked about the landscaping.

The applicant spoke about landscaping and screening plans.

Commissioner Selph asked if he would be willing do install an atheistically pleasing screen.

The applicant said that he would be happy to do that.

Vice-Chair Perry asked if there was anyone else who would like to speak on this matter.

Being none, she called for a motion.

Commissioner Orrel made a motion to approve with the improved screening (slats), Commissioner Ashley seconded. Motion passes 6-0.

PC2305: Maxwell P. Beatty requests a rezoning of 35 Telfair Place (formerly 4 Telfair Place), 60799 02002C, from C-1 to I-1.

Vice-Chair Perry asked for the speakers to come to the podium and for staff recommendations.

Denise Grabowski said the staff recommendation was denial.

Applicant, Maxwell Beatty, and his attorney came to the podium. His attorney asked for clarification if this regarding both properties or just one.

Denise Grabowski said that each parcel is a separate case.

The applicant said that he wants it industrial because nearby land is industrial and he wants to be able to sell it for a higher rate.

Commissioner Orrel made comments about the proximity of the parcel to the intersection and the potential for issues with truck traffic.

The applicant made comments about his age, how long he owned the property, and how he has been there longer than Garden City. And, how he wants to rezone it to get more in a sale.

Commissioner Orrel said there are many commercial uses nearby, and there is a feasible path to develop the property for a number of commercial uses.

The applicant's attorney said he feels his applicant can get more money for it if it is rezone.

Commissioner Orrel said that the request is not descriptive enough and he does not feel like he knows the intentions of what may be there.

Vice-Chair Perry asked if there were more questions for the applicant.

Commissioner Bruner brought up the future land use map and how this was intended to stay commercial.

The applicant's attorney said that the eastside of the highway is considered commercial.

Vice-Chair Perry asked if there any other questions for the applicant. Being none, she then asked for any speakers from the public. Vice-Chair Perry called for a motion.

Commissioner Orrel made a motion to deny, Commissioner Selph seconded, motion passed 6-0.

PC2306: Maxwell P. Beatty requests a rezoning of 38 Telfair Place, 60799 01001A from C-1 to I-1.

Vice-Chair Perry asked the applicant Mr. Beatty and his attorney to return back to the podium because there was another case to be heard.

The applicant briefly summarized why he wants to rezone this parcel, for selling purposes, and he has owned this land since at least 1976.

The applicant's attorney said this plot of land was different because of it's location.

Commissioner Selph asked if the applicant could be provided with a list of options for the property.

Denise Grabowski said it could be potential that rezoning to another class of commercial could possibly be more realistic.

Commissioner Bruner said that this property was different as it was more so bordered by industrial property.

Vice-Chair Perry asked for any more questions for the applicant and any speakers from the public to approach.

Commissioner Monroe said he would like to answer some of the questions and spoke about the current procedure. Vice-Chair Perry called for a motion.

Commissioner Bruner made a motion to approve. Nobody seconded, so the motion did not carry.

Commissioner Selph made a motion to deny. Commissioner Orrel seconded. Motion passed 5-1, with Commissioner Bruner voting in opposition.

Commissioner Ashley made a motion to adjourn, Commissioner Selph seconded. Motion passes and meeting adjourns.

Respectfully submitted
JRT

Sec. 90-174. - Outdoor advertising or separate use signs.

To preserve and promote the public health, safety, and welfare of the citizens of Garden City, Georgia, to maintain and enhance the visual environment, and to preserve the right of citizens to enjoy Garden City's scenic beauty, to improve pedestrian and traffic safety, and to minimize the possible adverse effect of outdoor advertising or separate use signs on nearby public and private property, the following regulations shall govern the location of such signs within the city:

- (1) An outdoor advertising or separate use sign may be located on any property located in a mixed use, commercial, or industrial zoning district in addition to any other freestanding sign authorized by this article so long as such sign complies with the pertinent provisions of the City Code.
- (2) Outdoor advertising or separate use signs are allowed on parcels fronting state or federal highways in commercial, industrial, or mixed use districts only. Such signs are limited to 480 square feet in sign area with dimensions not exceeding 12 feet in height or 42 feet in width.
- (3) Outdoor advertising or separate use signs are allowed on parcels adjacent to streets other than state or federal highways in commercial, industrial, and mixed use districts only. Such outdoor advertising or separate use signs are limited to 400 square feet in sign area per face, with dimensions not exceeding 12 feet in height and 25 feet in width.
- (4) Outdoor advertising or separate use signs shall be erected to a height of no more than 50 feet where located adjacent to state and federal highways and no more than 30 feet when located adjacent to other streets.
- (5) All portions of a sign face and support members of any outdoor advertising or separate use sign shall be set back from all buildings, structures, and property lines in compliance with the setback requirements of this Code applicable to the zoning district where the sign is located.
- (6) Only one outdoor advertising or separate use sign shall be allowed per platted lot. No outdoor advertising or separate use sign shall be placed on any residentially zoned lot which contains any freestanding sign. Outdoor advertising or separate use signs shall be no less than 1,000 feet apart, measuring from the two closest points and only one sign face shall be allowed to face the same direction per location. This allows back-to-back or "V" formation signs but prohibits two signs side-by-side or over-and-under, facing the same direction. The faces of a sign constructed in the form of a "V" shall not exceed 45 degrees.
- (7) No outdoor advertising or separate use sign or part thereof, shall be erected, used, or operated or maintained:
 - a. Within 150 feet of the nearest edge of the right-of-way of another intersecting right-of-way.
 - b. Within 200 feet of any church, school, cemetery, public park or public building.

- c. Overhanging a public right-of-way or a private road or drive.
 - d. Within 100 feet from any residentially zoned area.
- (8) Sign illumination shall not cause beams or rays of light to be directed to a roadway or adjacent properties. Flashing illumination such as, without limitation, flashing, running, or sequential lights are prohibited except as expressly provided herein.
- (9) Outdoor advertising or separate use signs shall be prohibited in areas where no roadway of any kind currently exists. Outdoor advertising or separate use signs shall only be permitted on roadways which are currently functioning as a bona fide roadway and are under the care and control of the Georgia Department of Transportation, Chatham County, Georgia, or under municipal control.
- (10) The following outdoor advertising or separate use signs are expressly prohibited unless specifically stated otherwise in this article:
 - a. Signs employing movement including, but not limited to, changeable copy signs, pennants, flags, banners, streams, propellers, discs, and search lights.
 - b. Signs that include lights which flash, blink, or turn on and off intermittently, but not including time and temperature signs.
 - c. Signs employing direct, indirect, internal, flashing, or other illumination with light sources or reflectivity of such brightness that constitute a hazard to ground or air traffic or a nuisance, as determined by the city manager.
 - d. Inflatable signs including, but not limited to, balloons.
 - e. Roof billboards which are erected or painted on a roof or which extend in height above the roof line of the building on which the sign is erected.
 - f. Any sign which may be confused with or obstruct the view of any authorized traffic sign or signal, obstructs the site distance triangle at any street or highway intersection, or extends into the public right-of-way.
- (11) Extrusions beyond the face of any outdoor advertising or separate use sign, excluding aprons, are prohibited.
- (12) There shall be an initial inspection of outdoor advertising or separate use signs and reinspection every five years.
- (13) Trees may be cut, trimmed, or pruned in locating, erecting, or maintaining any outdoor advertising or separate use sign provided a tree removal permit is issued by the city.
- (14) With respect to outdoor advertising or separate use signs that contain alphanumeric characters, graphics, or symbols defined by a small number of matrix elements using different combinations of light-emitting diodes ("LED's"):
 - a.

Such signs shall contain static messages only, and shall not have movement nor flashing on any part of the sign structure, design, or pictorial segment of the sign, nor shall such sign have varying light intensity during the display of any single message.

- b. Each display on an electronic changeable message LED sign shall remain fixed for at least ten seconds.
- c. When a message on an electronic changeable message LED sign is changed, the change shall be accomplished in three seconds or less.
- d. Any electronic changeable message LED sign shall contain a default design that will freeze the display in one position or black screen if a malfunction occurs.
- e. No auditory message or mechanical sounds may be emitted from the sign.
- f. Electronic changeable message LED signs may not operate at brightness levels of more than 0.20 foot candles above ambient light levels as measured at the following distances:

SIGN SQ. FEET	DISTANCE
<300 feet	150 feet
301 feet—400 feet	200 feet

- g. The owner of said LED outdoor advertising or separate use sign shall annually provide a letter from an independent contractor certifying lumens compliance with the provisions of this Code Section.
- h. Each sign must have a light sensing device that will adjust the brightness of the display as the natural ambient light conditions change.
- i. No LED outdoor advertising or separate use sign shall be located within 2,500 feet of another LED billboard sign on either side of the road.
- j. Electronic changeable message LED signs shall meet the same installation and permitting requirements and inspections as set out for electrical signs and all other signs.
- k. The owner of said LED outdoor advertising or separate use sign shall coordinate with the local authorities to display, when appropriate, emergency information important to the traveling public including, but not limited to, Amber Alerts or alerts concerning terrorist attacks or natural disasters. Emergency information messages shall remain in the advertising rotation according to the protocols of the agency that issues the information.

l.

The owner of said LED outdoor advertising or separate use sign shall provide the City of Garden City contact information for a person who is available to be contacted at any time and who is able to turn off the electronic sign promptly after a malfunction occurs. If, at any time more than 95 percent of the LED display lights malfunction or are no longer working, the owner of said LED sign shall make repairs to the sign within 60 days or the sign will require removal.

- m. If the City of Garden City finds that the LED outdoor advertising or separate sign causes a glare or otherwise impairs the vision of the driver of a motor vehicle, the owner of the sign, within 24 hours of a request by the city, shall reduce the intensity of the sign to a level acceptable to the city.
- n. Each sign must comply with all Georgia Department of Transportation rules and regulations applicable to electronic changeable message signs where not in conflict with this article.

(15) Each outdoor advertising or separate use sign shall have attached thereto a legend identifying the agent or agency responsible for the erection and maintenance of such sign. Such legend shall set forth the permit number issued by the zoning administrator for such sign.

(16) Each outdoor advertising or separate use sign shall constitute a self-supporting structure erected on one pole permanently attached to a concrete foundation. The foundation shall be designed to carry the weight and windload of the sign, in the soil which it is placed. The sign's pole and supporting apparatus shall be fabricated only from painted or galvanized steel or metal. No portion of the supporting structure for the sign shall be visible above the advertising display area.

(17) Every outdoor advertising and separate use sign, including its supports, braces, guys, and anchors, shall be maintained in a safe, presentable, and good structural material condition at all times, which includes the repair or replacement of defective parts, painting, repainting, cleaning, and other acts required for the maintenance of said sign. The surrounding premises of each sign shall be maintained in a clean, sanitary, and inoffensive condition, and free and clear of all obnoxious substances, rubbish, and weeds.

(18) The advertising or copy area shall be replaced periodically to maintain good appearance. When the sign displays no advertising copy, its face shall continue to have a tight, closed, or solid surface concealing the sign's supporting apparatus, and shall be of a uniform color.

(Ord. No. 2012-5, § 1, 5-7-12; Ord. No. 2014-1, § 1, 3-3-14)

Editor's note— Ord. No. 2012-5, § 1, adopted May 7, 2012, repealed former § 90-174, and enacted a new § 90-174 as set out herein. Former § 90-174 pertained to the same subject matter and derived from Ord. of 1-6-97, § 2.

City of Garden City Variance Application



Development Information

Development Name (If applicable)

Property Address

1518 Old Dean forest rd

Current Zoning

Industrial

Parcel ID

6096301001

Current Use

None - billboard only

Total Site Acreage

9.8

Section of the zoning code from which you are seeking a variance:

Billboards/Signs Section 90-174 (Outdoor Advertising) #6

Describe the variance request you are requesting.

requesting to put another billboard on said Parcel ID

Would denial of this request create practical difficulty or an unnecessary hardship?

Yes, it would require to have to have plot surveyed and divided which is unnecessary time and cost accrued and considering this is the only use out of the property the owner can do it would create both practical difficulty and unnecessary hardship.

Does the property have extraordinary and exceptional conditions because of its size, shape or topography?

Yes the property is landlocked and there is no other use options for the property owner

Are the conditions of the property unique to this piece of property?

see above

Would approval of this variance request cause any detriment to adjoining properties or the community?

No

Please provide any additional information that you deem relevant.

City of Garden City Variance Application



Applicant Information

Owner	
Name	Address
Graham Outdoor Advertising LLC	730 west church street
Phone	Email
478-494-3965	grahamoutdooradvertising@msn.com

Nature of Ownership Interest
 Is the Owner an: Individual Partnership Sole Proprietor Firm Corporation Association
 Note: If a corporation, submit a list of officers, directors & major stockholders with name, address and title.
 If a partnership: Submit list of all partners with name, address and title.

Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email

Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Graham Outdoor Advertising LLC.	Jamie S Graham
Phone	Email
478-494-3965	grahamoutdooradvertising@msn.com

Campaign Contribution
 List below the names of local government officials, Garden City City Council, to whom campaign contributions were made, within two (2) years immediately preceding the filing of this application, which campaign contributions total \$250.00 or more or to whom gifts were made having a total value of \$250.00 or more.

Elected Official's Name	Amount or Description of Gift

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Board of Zoning Appeals and that my application cannot be approved unless I am represented.

Jamie Shannon Graham _____ 3/6/2023
 Print Name Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



GARDEN CITY
PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 6, 2023
Re: PC 2311 – 1518 Old Dean Forest Road, Garden City

Application Type	Variance
Case Number	PC2311
Applicant	Jamie S. Graham
Name of Project	Billboard
Property Address	1518 Old Dean Forest Road
Parcel IDs	60963 01001
Area of Property	8.3 acres
Existing Zoning	I-2
Proposed Land Use	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant is requesting a variance from Section 90-174 to add a second billboard to the subject property.

Background / Additional Context: The Planning Commission approved a billboard on this property on September 13, 2022.

FINDINGS

Section 90-174 permits only one outdoor advertising or separate use sign per platted lot. The petitioner has not demonstrated conditions which warrant approval of the variance request.

RECOMMENDATION

Staff recommends denial of the variance request.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that a building permit must be issued before vertical construction shall commence.



City of Garden Site Plan Application



Development Information

Development Name
 CenterPoint Industrial Market

Property Address
 Anderson Avenue, Garden City

Phased development? **If yes, indicate proposed number of phases:**

Yes No

Parcel ID	Total Site Acreage	Zoning
60022 01001,01004,01005 60021 01001,01002,01003,01004,01005,01006	68.18	I-2

Project Description
 Extend Alfred Street to Garden City Property - Construct a +/-600,000 SF Class A Industrial Warehouse with paved container storage yard

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner

Name	Address
CenterPoint Properties	1808 Swift Drive, Oak Brook IL 60523
Phone	Email
757-630-7474	bhollings@centerpoint.com

Engineer/Surveyor Same as authorized agent Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
Thomas & Hutton Engineering	Stan Fischer
Phone	Email
912-547-1862	fischer.s@thomasandhutton.com

Authorized Agent (Requires Authorized Agent Form) Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
Phone	Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Brian C. Hollings Brian C. Hollings Digitally signed by Brian C. Hollings 2/2/23
 Print Name Signature Date: 2022.11.15 17:51:25 -05'00' Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



MEMORANDUM

To: City of Garden City Planning Commission
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC2243 – CenterPoint Industrial Market

Application Type	General Development Plan
Case Number	PC2243
Applicant	CenterPoint Properties
Name of Project	CenterPoint Industrial Market
Property Address	Anderson Avenue (Alfred Street)
Parcel IDs	60022 01001, 60022 01004, 60022 01005, 60021 01001, 60021 01002, 60021 01003, 60021 01004, 60021 01005, 60021 01006
Area of Property	68.18 acres
Current Zoning	I-2
Proposed Land Use	Class A Warehouse and ancillary storage yard

GENERAL INFORMATION

Project Description: The applicant is proposing to develop the property for a Class A warehouse and ancillary container storage yard. The warehouse is approximately 600,000 square feet, including 7,500 square feet of office space. The warehouse includes ± 130 dock doors, ± 4 drive in doors, ±159 trailer spaces, and ±136 vehicular parking spaces. The ancillary container yard provides ±260 trailer spaces on the property.

The legal name of the unopened right-of-way providing access to the property is Anderson Avenue; this is also the address location provided by Chatham County. However, the existing street is known as Alfred Street.

Background / Additional Context: This application was tabled at the Planning Commission meeting held on January 10, 2023, so the applicant could meet with the community. A community meeting was held at the Cooper Center on February 2, 2023.

The property is zoned I-2, which allows for the development of warehouses and ancillary container yards by right.



FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-47, and the requirements of Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*

The applicant is proposing to develop the site for a warehouse and ancillary container storage. Stormwater will be managed with onsite detention ponds located in multiple locations around the property. The applicant revised the site plan to increase the setback between the storage yard and the residentially zoned properties adjacent to the development. The revised site plan illustrates the container storage yard on the eastern side of the property; the warehouse and support parking are on the western side of the property.

2. *Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*

The applicant is awaiting the approval of the general development plan by the Planning Commission prior to initiating architectural design. The applicant has provided the attached rendering as an example of the anticipated design. The applicant is requesting to submit the architectural design for approval by the City Manager.

3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*

Alfred Street will be extended to provide access to development. The intersection of Alfred Street and U.S. Highway 80 will be upgraded with a new dedicated turn lane into the Savannah Farmer's Market property. A through lane will provide access to the CenterPoint development and the City of Garden City property. Egress will be facilitated onto U.S. Highway 80 with dedicated turn lanes for right and left turns, as well as a through lane to continue onto 8th Street.

Access to the CenterPoint development will be provided through three access points from Alfred Street. Each access point will be gated, as shown on the plan.

Per the Garden City Subdivision Ordinance, Article III, Section 70.62, eight-foot sidewalks are required on both sides of the Alfred Street extension.

Comment: Staff supports modification of this requirement to include a ten-foot multi-use path between U.S. Highway 80 and the entry drive into the Garden City property along the north side of Alfred Street extension. Marked pedestrian crosswalks and pedestrian signage will be provided at the intersection of Alfred Street Extension and U.S. Highway 80 and at the intersection of the entry to the City of Garden City property. The path is currently illustrated at 8' in width. Staff recommends a minimum of 10' in width, which is the GDOT standard minimum with for a bidirectional multi-use path.

4. *Scale, design, and location of exterior signs.*

The proposed sign locations are indicated on the plan. All signs shall be in compliance with the City of Garden City sign ordinance.

5. *Fences, landscaping, and buffers.*

The landscape ordinance requires a 50' vegetated buffer adjacent to the residentially zoned properties. The applicant has provided an updated site plan and proposed landscaping plan, which consists of a dry pond with plantings, street trees along Alfred Street, and an 8' chain link fence with black slats adjacent to the warehouse and ancillary storage yard.

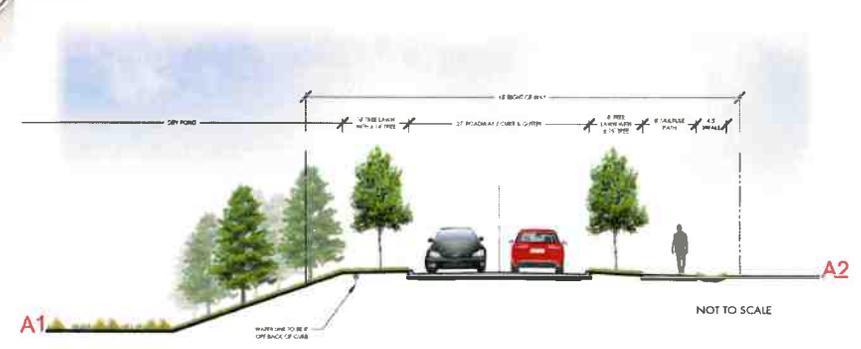
Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

PHOTO COURTESY OF THE UNIVERSITY OF GEORGIA

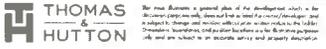


NOTE: ALL BACKGROUND INFORMATION IS BASED ON CIVIL PLANS AND SUBJECT TO CHANGE BASED ON ACTUAL DESIGN. SPECIFIC TREE SPECIES TO BE DETERMINED. STREET TREE AND POND BANK TREE SHOWN FOR REFERENCE AND SUBJECT TO CHANGE.



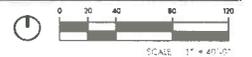
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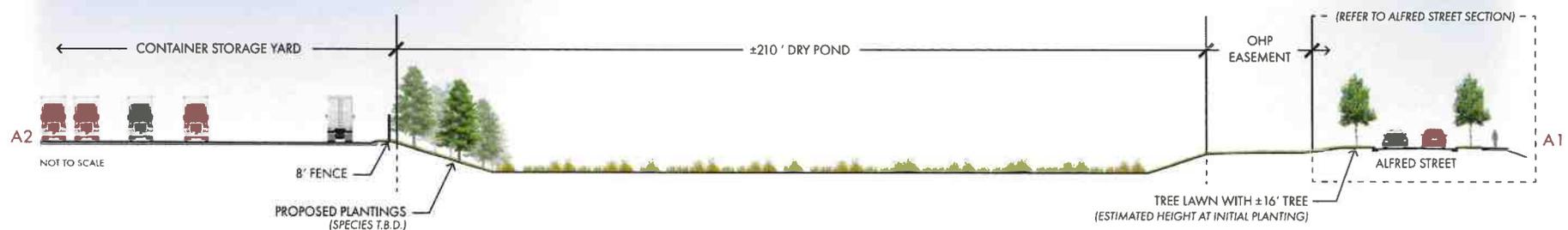
CENTERPOINT PROPERTIES



FORMER FAWCETT SITE ILLUSTRATIVE - ALFRED STREET
GARDEN CITY, GA

JANUARY 30, 2023





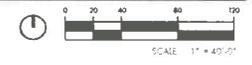
CENTERPOINT PROPERTIES



FORMER FAWCETT SITE ILLUSTRATIVE - CONTAINER STORAGE YARD

GARDEN CITY, GA

JANUARY 30, 2023



See also drawings in general plan of the development which is for the owner's reference only. Some details are based on current standards and in effect at the time of the original design and may not reflect the current standards. Drawings, specifications, and general conditions are for the owner's reference only and are subject to the applicable contract documents.



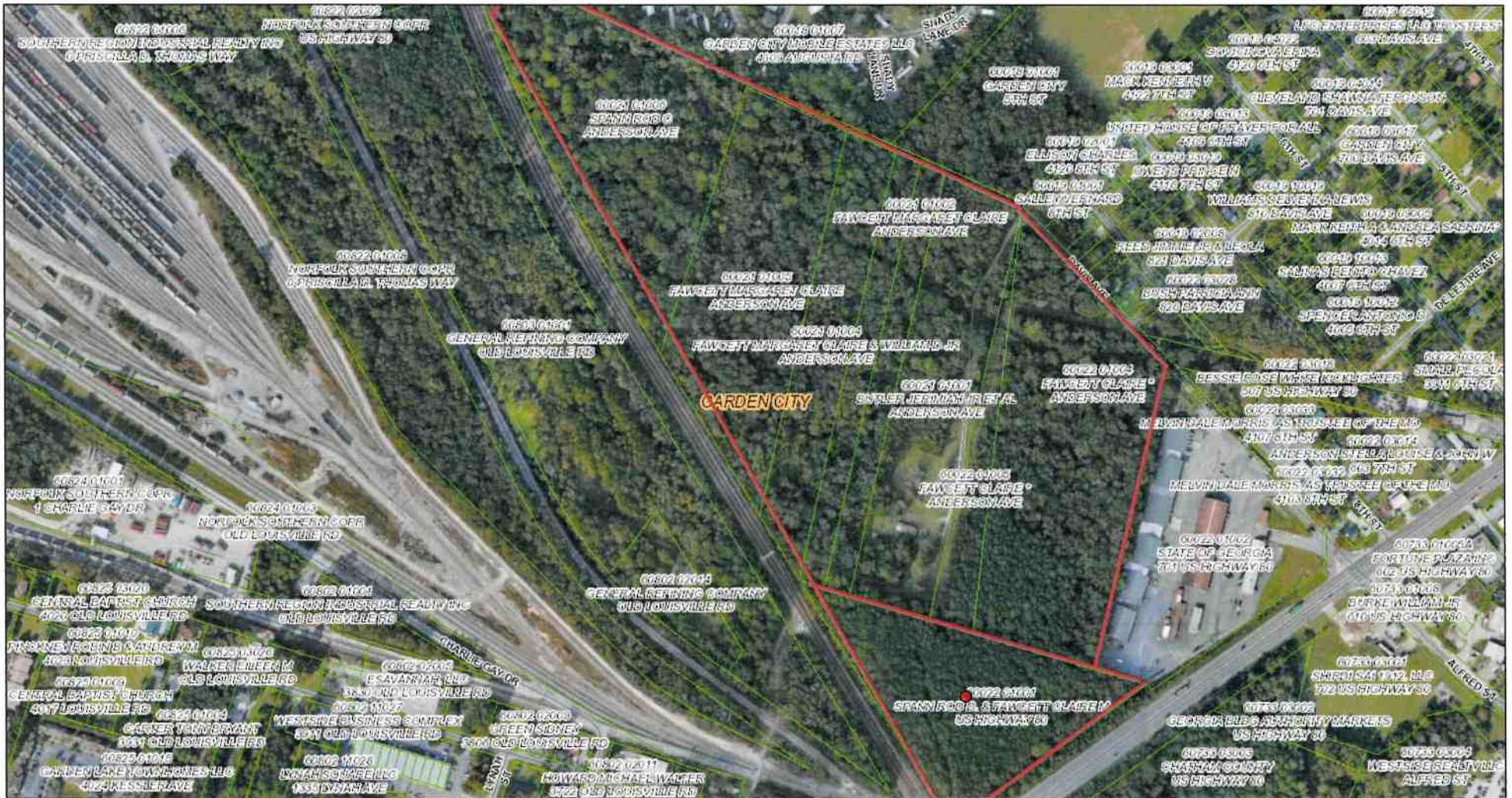
CENTERPOINT INDUSTRIAL MARKET SITE PLAN

GARDEN CITY, GEORGIA



FEBRUARY 2, 2023





City of Garden Subdivision Application



Development Information

Development Name (if applicable)
 CenterPoint Industrial City Gardens

Property Address
 2200 Dean Forest Road

Phased development? <input type="checkbox"/> Yes <input type="checkbox"/> No	If yes, proposed number of phases	Proposed Number of Lots (Total)
	3	8
Parcel ID	Total Site Acreage	Zoning
60986-01002	267.14	I-1/I-2

Project Description
 Three Warehouses and Two paved Container Yards.

Water Supply	Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private	<input type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner

Name	Address
CenterPoint Properties	1808 Swift Drive, Oak Brook IL 60523
Phone	Email
757-6307-474	bhollings@centerpoint.com

Engineer/Surveyor Same as authorized agent Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
Thomas and Hutton Engineering	Stan Fischer
Phone	Email
912-547-1862	fischer.s@tandh.com

Authorized Agent (Requires Authorized Agent Form) Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
CenterPoint Properties	Brian C. Hollings
Phone	Email
757-630-7474	bhollings@centerpoint.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Brian C. Hollings _____ Brian C. Hollings _____ Digitally signed by Brian C. Hollings Date: 2023.01.26 11:13:07 -05'00' _____ 1/26/23
 Print Name Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC2308 – CenterPoint Industrial City Gardens

Application Type	Preliminary Plat
Case Number	PC2308
Applicant	CenterPoint Properties
Name of Project	CenterPoint Industrial City Gardens
Property Address	2200 Dean Forest Road
Parcel IDs	60986 01002
Area of Property	252.7 acres
Proposed Number of Lots	8
Existing Zoning	I-1/I-2
Proposed Land Use	Warehouses and Container Yards

GENERAL INFORMATION

Project Description: The applicant is proposing to develop three (3) industrial warehouses and two (2) container yards.

Background / Additional Context: The Preliminary Plan for this development was approved by the Planning Commission on June 14, 2022.

FINDINGS

The applicant is finalizing work in phase one of the development, which includes parcels 3 and 4 and the common areas. This work will be completed prior to the City Council meeting on April 3, when action by City Council is scheduled on the agenda.

STAFF RECOMMENDATION

Approval of the final plat, pending the receipt of the engineer's certificate is provided in advance of final approval by City Council.

THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

- NOTES**
1. FIELD EQUIPMENT USED FOR THIS SURVEY: SODIMAT 20000 RE
 2. THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 864,747 FEET, AN ANGULAR ERROR OF 0" PER ANGLE POINT, AND HAS ADJUSTED USING THE COMPASS RULE METHOD.
 3. ALL CORNERS MARKED WITH 5/8" IRON NAILS, 24" LONG WITH CAP STAMPED "T&H" UNLESS OTHERWISE NOTED.
 4. THIS PLAN HAS A PRECISION OF ONE FOOT IN 189,046.
 5. COORDINATE AND SECTION ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM UTM, EAST ZONE.
 6. ACCORDING TO FIRM 808-0000, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 7. WE CLAIM THAT EVERY JOB ON THE PROPERTY OR UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES LET BY OTHERS AND THE DEVELOPER ARE SUBJECT TO FINES BY LAW FOR OBTAINANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL. WE CLAIM THESE AREAS WERE TAKEN FROM SURVEY BY COLEMAN COMPANY DATED OCTOBER 10, 2008 AND WERE NOT FIELD SURVEYED BY THOMAS & HUTTON. REFER TO OUR ADJUTANT'S CORNERS LETTER DATED OCTOBER 13, 2008. PROJECT NUMBER 848-1008-0048 FOR DETAILS REGARDING THE RELOCATION OF ADJUTANT'S CORNERS FOR THIS PROPERTY.
 8. TAX MAP NUMBER: 60008 0000
 9. PROPERTY OWNER: CENTERPOINT GARDEN CITY, LLC
 10. TITLE REFERENCE: 89-77, PG 982
 11. THE CERTIFICATION, AS SHOWN HEREIN, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON THE INFORMATION RECEIVED AND BELIEVED TO BE TRUE AND CORRECT. THE SURVEYOR AND DOCUMENTARY PUBLIC GUARANTEE WHERE A CONFLICT EXISTS BETWEEN THE RULES OF THE GEORGIA BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND O.C.G.A. § 43-6-57, THE REQUIREMENTS OF LAW PREVAIL.

- REFERENCES**
1. A PLAN OF SOUTHERN REGION INDUSTRIAL REALTY, INC. SUBDIVISION BEING A SUBDIVISION OF THE FIRM 808-0000 PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 2. A PORTION OF THE PLAN OF CHATHAM COUNTY DATED JULY 11, 2008 AND RECORDED IN DEED BOOK 374-6, PAGE 848, CHATHAM COUNTY, GEORGIA.
 3. A PORTION OF THE PLAN OF CHATHAM COUNTY DATED JULY 11, 2008 AND RECORDED IN DEED BOOK 374-6, PAGE 800, CHATHAM COUNTY, GEORGIA.

ACREAGE TABLE

PARCEL 1	17,072 AC.
PARCEL 2	4,500 AC.
PARCEL 3	18,925 AC.
PARCEL 4	9,000 AC.
PARCEL 5	22,526 AC.
SUBTOTAL	72,023 AC.

COMMON AREAS (4)

COMMON AREA 1	2,891 AC.
COMMON AREA 2	2,485 AC.
COMMON AREA 3	175,274 AC.
SUBTOTAL	180,650 AC.

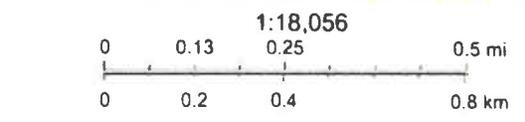
TOTAL 252,673 AC.

TOGS (4) INCLUDE 0.007 AC. PLANT 2 AND 0.001 AC.

LINE NUMBER	LENGTH	LINE NUMBER	LENGTH
1	18.00	131	18.00
2	18.00	132	18.00
3	18.00	133	18.00
4	18.00	134	18.00
5	18.00	135	18.00
6	18.00	136	18.00
7	18.00	137	18.00
8	18.00	138	18.00
9	18.00	139	18.00
10	18.00	140	18.00
11	18.00	141	18.00
12	18.00	142	18.00
13	18.00	143	18.00
14	18.00	144	18.00
15	18.00	145	18.00
16	18.00	146	18.00
17	18.00	147	18.00
18	18.00	148	18.00
19	18.00	149	18.00
20	18.00	150	18.00
21	18.00	151	18.00
22	18.00	152	18.00
23	18.00	153	18.00
24	18.00	154	18.00
25	18.00	155	18.00



- | | | | | |
|--------------------|----------------|----------------|-------------|-------------|
| Municipal Boundary | PORT WENTWORTH | TYBEE ISLAND | Local Roads | Interstate |
| BLOOMINGDALE | SAVANNAH | VERNONBURG | Major Roads | Local Roads |
| GARDEN CITY | THUNDERBOLT | UNINCORPORATED | Parkways | Major Roads |
| POOLER | | | | |



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City of Garden General Development Plan Application



GARDEN CITY

Development Information

Development Name
Goodship Logistics

Property Address
123 Beasley Rd. Garden City, Ga. 31408

Phased development? Yes No **If yes, indicate proposed number of phases:**

Parcel ID *60988A02004* **Total Site Acreage** *1* **Zoning** *P-I-2*

Project Description
This project is being graded + filled for parking

Water Supply Public Private **Sewage Disposal** Public Private

Applicant Information

Owner

Name <i>Walter Clark</i>	Address <i>123 Beasley Rd</i>
Phone <i>912-657-5277</i>	Email <i>Walter@goodshiplogistics.com</i>

Engineer/Surveyor Same as authorized agent Check here to receive staff review comments via email

Company Name <i>Boswell Design Services</i>	Contact (Individual Name) <i>Mark Boswell</i>
Phone <i>912-897-6932</i>	Email <i>Lahbas@bellsouth.net</i>

Authorized Agent (Requires Authorized Agent Form) Check here to receive staff review comments via email

Company Name <i>Brewer Surveying</i>	Contact (Individual Name) <i>Craig Brewer</i>
Phone <i>912-856-2205</i>	Email <i>craig@brewer-survey.com</i>

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Walter T. Clark **Print Name** *Walter T. Clark* **Signature** *2-24-23* **Date**

OFFICE USE ONLY			
Received By	Date Received	Case Number	
Submission Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number	



MEMORANDUM

To: City of Garden City Planning Commission
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC2307 – 123 Beasley Road

Application Type	General Development Plan
Case Number	PC2307
Applicant	Walter Clark
Name of Project	Goodship Logistics
Property Address	123 Beasley Road
Parcel IDs	60988A 02004
Area of Property	1.05 acres
Current Zoning	P-I-2
Proposed Land Use	Laydown yard

GENERAL INFORMATION

Project Description: The site contains an existing residential structure which will be converted into an office. The remainder of the property will be filled and graded for a laydown yard. Stormwater will be managed with a new detention pond.

FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-43, Designation of P districts, the following factors are to be considered for a General Development Plan review:

- Proposed uses and overall development plan.*
The proposed use is allowed in I-2 zoning.
Use (85) Storage yards: I-1, I-2. Such yards shall be completely enclosed by a fence, and no storage shall be permitted outside such fence. A landscape buffer shall be provided as specified in Section 90-262.
- Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*
The existing house currently on the property will remain and be converted into an office.



3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*
Access is provided via Beasley Road. Parking will be located adjacent to the office.
4. *Scale, design, and location of exterior signs.*
Any signage shall be in compliance with the City of Garden City sign ordinance.
5. *Fences, landscaping and buffers.*
The landscaping plan indicates new live oak trees to be planted on the east side of the property. Additional foundation plantings will be added to the front of the office. The applicant is proposing a 6' chain link security fence around the property. The ordinance requires a landscape buffer along the roadway frontage.

RECOMMENDATION

Approval of the General Development Plan with the addition of a landscape buffer along Beasley Road.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

Goodship Logistics, LLC
123 Beasley Rd, Garden City Georgia

Members of Planning Commission-

We at Goodship Logistics would like to respectfully offer our planned use for the submitted property.

We are a small company with 4 employees and 6 drivers. Our use will be to store chassis and containers we have pulled from the port. We will then have the freight delivered and the trailers stored in our yard again until we return them to the port.

Our business hours are from 7 AM - 6 PM Monday through Friday. We will not have trucks idling overnight at the property. The office will only be used for the staff as we do not have customers that come to us.

We operate a clean neighborly business with an eye towards community improvement. Our business is the same as our neighbors at 1636 Dean Forest Rd with whom we have a good relationship.

Best regards,



Owner
Goodship Logistics, LLC

4.0 AC

60988A01003
DCW RENTAL LLC
1710 DEAN FOREST RD

6092401015B
DCW RENTAL LLC
1712 DEAN FOREST RD
(D-2)
314.04

60988A01004
DCW RENTAL LLC
104 BEASLEY RD

60988A01005
MORGAN DENNIS W
BEASLEY RD

60988A01006
MORGAN DENNIS W
124 BEASLEY RD

60988A02002
HENDRIX JAMES R & MARY O
137 BEASLEY RD

60988A02005
W CAP MGMT SAVANNAH 1 LLC
1636 DEAN FOREST RD

60988A02004
COLLINS & RISER-COLLINS MICHAELA & GEGI
123 BEASLEY RD

60988A02003
BLANTON BOBBY R & LINDA G
125 BEASLEY RD

60988A02006
STRICKLAND WILLIAM L & PAT H
1630 DEAN FOREST RD

60988A02010A
TJC PROPERTIES LLC
1624 DEAN FOREST RD

60988A02007
STRICKLAND WILLIAM L & PATRICI
1622 DEAN FOREST RD

60988A02008
STRICKLAND WILLIAM L & PATRICI
1626 DEAN FOREST RD

60988A02010
KCI PROPERTIES LLC
DEAN FOREST RD

60988A02009
DANIEL ALAN YEOMANS & KEVIN E SMITH AND
1620 DEAN FOREST RD

City of Garden Site Plan Application



Development Information

Development Name		
5440 August Rd Car Wash		
Property Address		
5440 August Rd		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60818 01010	0.85	C-2
Project Description		
Car WASH		
Water Supply		Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private		<input type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner	
Name	Address
Devang Chande	106 Decker Drive Pooler, GA 31322
Phone	Email
678-200-0269	devangchande80@gmail.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Jay Maupin - Maupin Engineering, Inc	Jay Maupin
Phone	Email
912-235-2915	jay@maupinengineering.com
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Dewitt Tilton Group	Chris Tilton - Kim Thomas
Phone	Email
912-777-3404	kim@dtg-inc.net

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Kim Thomas	Kim Thomas	1/20/2023
Print Name	Signature	Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format	Fee Amount Paid	Invoice Number
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		



GARDEN CITY
PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: City of Garden City Planning Commission
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC2309 – 5440 Augusta Road Car Wash

Application Type	General Development Plan
Case Number	PC2309
Applicant	Dewitt Tilton Group
Name of Project	5440 Augusta Road Car Wash
Property Address	5440 Augusta Road
Parcel IDs	60801 07001A
Area of Property	0.85 acres
Current Zoning	C-2
Proposed Land Use	Car wash

GENERAL INFORMATION

Project Description: The applicant is proposing to demolish the existing structure to build a new car wash.

Background / Additional Context: This location was previously the site of Sonic restaurant.

FINDINGS

In conformance with the City of Garden City Zoning Ordinance Section 90-43, Designation of P districts, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan.*

The proposed use is permitted in C-2 zoning.

Use (46) Automobile service station, including automobile washeteria: R-I-N(B), C-1, C-2, C-2A, C-2A(B & W), I-1.

The following regulations shall apply to this use:

- a. Major auto repair shall not be permitted.
- b. Gasoline pumps and service areas for gasoline pumps shall not be permitted within the required front yard setback established for the particular class of street in the zoning district within which the service station is located.
- c. All service, storage or similar activities connected with such use shall be conducted entirely on the lot on which such use is located.



2. *Building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; the architectural style or structure and the facade architectural treatment.*

The applicant has provided building elevations. The proposed façade will be stucco with stone tile and aluminum accents. The building colors have not been selected yet, but will be neutral according to the applicant.

3. *Driveway and parking orientation, in keeping with the established character in the area; proposed traffic and pedestrian circulation.*

The site will have access to Highway 21 (Augusta Road) via an access easement. An additional access point is provided via an access easement to State Route 307 (Dean Forest Road). Both access points provide right-in, right-out access onto the state highways.

The internal site circulation is designed to facilitate one-way traffic.

4. *Scale, design, and location of exterior signs.*

A new sign is proposed on the southwest corner of the property, adjacent to State Route 21.

5. *Fences, landscaping and buffers.*

The applicant has provided the required landscape plan, which includes the preservation of five existing trees and planting of additional trees and shrubs in compliance with the landscape ordinance. Vegetated screening is provided around the dumpster. A structured enclosure will also be required.

RECOMMENDATION

Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

GENERAL DEVELOPMENT NOTES:

1. PIA: 001810100
ADDRESS: 5446 ALKUSTA ROAD
Garden City, GA 31407
2. CONSTRUCTION DIST. LOCATION
N: 22.734017°
W: 81.146637°
3. TOTAL LAND ACREAGE: 0.84581 AC
TOTAL DISTURBED ACREAGE: 0.7910 AC
4. EXISTING USE OF PROPERTY: DRIVE-IN RESTAURANT
PROPOSED USE OF PROPERTY: CARWASH
PRESENT SITE ZONING: C-2
5. PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP # 1301000456, DATED 8/12/2018
6. THE SITE IS SERVED BY THE GARDEN CITY WATER AND SANITARY SEWER SYSTEM
7. PARKING SPACE CALCULATION:
REQUIRED: NO STANDARD IN COMPLIANCE
PROVIDED: 20 STALLS PROVIDED
8. SITE LIGHTING PLAN TO BE PROVIDED SEPARATELY

NOTES

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER STREET CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAIN TO THE METERS. THE CITY OF SARASOTA WILL ONLY MAKE THE NET TAP. THE CITY WILL NOT INSTALL THE WATER SERVICE LATERAL.
3. ALL MATERIALS USED AND COMING INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT MATERIALLY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR COMPLIANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE NATIONAL SANITATION FOUNDATION STANDARD #1 (ANSI/APSC STANDARD #1)
4. IN ALL WATER USE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAR PRIOR TO CONNECTION TO THE CITY SYSTEM
5. PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE SPECIFIED, BE UNGRADED AT THE POINT OF DELIVERY AND STORED WHERE THEY WILL NOT BE A HAZARD TO TRAFFIC. THEY SHALL BE KEPT FREE FROM OIL AND GREASE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM OIL AND FOREIGN MATTER AT ALL TIMES.
6. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN WATER OR DIRT SHALL BE REMOVED FROM THE INTERIOR OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAR BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE LINE SPACES. DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL CAP OR APPROVED EQUAL WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE SPACES. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
7. CLEAN THE INTERIOR OF ALL PIPES BY BRUSHING, SHAMING OR BLOWING OUT OF ALL OIL, GREASE, LIME, OR LINT.
8. FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE INSPECTION. FLUSH NEW LINES WITH SUFFICIENT FLOW TO OBTAIN A FLOWING VELOCITY OF 2 FT/SEC. FLUSH LINES UNTIL WATER RUNS FREE OF DEBRIS. COORDINATE FLUSHING ACTIVITIES WITH CITY PERSONNEL.
9. NET MEASUREMENTS DERIVED FROM THE SITE SHALL BE RETURNED TO THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
10. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
11. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
12. ALL ABANDONED WATER LINES SHALL BE CAPPED AT THE MAIN AND THE PIPES PLUGGED.
13. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
14. CONTACT THE UTILITIES PROTECTION CENTER (UIC) IN GEORGIA OR 1-800-282-7411 FOR LOCATION OF CITY WATER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
15. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

WATER GENERAL NOTES

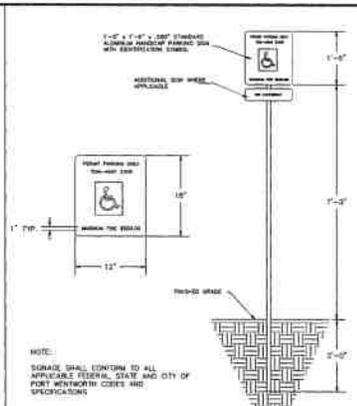
NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
3. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW-PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
4. ALL ABANDONED SANITARY SEWER LINES SHALL BE PLUGGED.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
6. CONTACT THE UTILITIES PROTECTION CENTER (UIC) IN GEORGIA OR 1-800-282-7411 FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

SANITARY SEWER GENERAL NOTES

GENERAL CONSTRUCTION NOTES:

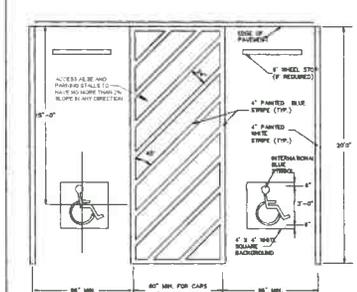
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CURRENT GARDEN CITY DESIGN STANDARDS, SPECIFICATIONS AND DETAILS OR AS OTHERWISE NOTED FOR THE PROJECT. WHERE ANY CONFLICT EXISTS BETWEEN THESE PLANS AND/OR SPECIFICATIONS AND/OR CONSTRUCTION DETAILS AND THE GARDEN CITY STANDARDS, SPECIFICATIONS, DETAILS AND DEVELOPMENT ORDINANCES, THE GARDEN CITY STANDARDS SHALL PREVAIL.
1. LAYOUT TO BE CONTROLLED BY EXISTING BENCHMARK.
 2. DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.
 3. DIMENSIONS TO WALK ARE TO FACE OF WALK.
 4. DIMENSIONS TO BUILDING ARE TO FACE OF BUILDING.
 5. DIMENSIONS TO STRIPING IS TO CENTERLINE OF STRIPING.
 6. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 7. ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
 8. BLUE METAL REFLECTIVE SIGN AT LEAST 12" IN WIDTH AND 18" IN LENGTH AND ERECTED AT 7' ABOVE GRADE IN SUCH MANNER AS TO BE CLEARLY VISIBLE TO THE PARKING VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES AND CENTERED THE FOLLOWING WORDS: "PERMIT PARKING ONLY", "TOW-AWAY ZONE" AND "MAXIMUM FINE \$500.00". SUCH SIGNS SHALL ALSO DISPLAY THE SYMBOL FOR HANDICAP ACCESSIBILITY CENTERED BETWEEN THE SECOND AND THIRD LINES. VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH THE FOLLOWING WORDS: "VAN ACCESSIBLE".
 9. TRAFFIC CONTROL DEVICES SHALL BE USED ON ALL WORK ON THE PROJECT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. THE COST TO COMPLY SHALL BE INCLUDED IN THE OVERALL COST OF THE PROJECT.
 10. REFERENCE SURVEYS:
10.1. BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED BY MTR SURVEYING (10/22/21)
10.2. VERTICAL DATUM: NAVD83 HORIZONTAL DATUM: NAD83
10.3. PROJECT IS ON STATE PLANE COORDINATES.
 11. MAUPIN ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR ACCURACY OF PROVIDED SURVEY INFORMATION.
 12. ONLY ABOVE GROUND, READILY VISIBLE STRUCTURES, UTILITIES AND SURFACE PAINT MARKINGS WERE LOCATED FOR THIS SURVEY. THIS SURVEY MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE, OR NON-EXISTENCE OF ANY BELOW-GROUND, NON-VISIBLE UTILITIES OR STRUCTURES. CONTRACTOR SHALL FIELD VERIFY LOCATION, TYPE, SIZE, MATERIAL AND GENERAL CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 13. ALL GRADED EARTH NOT OTHERWISE STABILIZED WITH BUILDING, PAVEMENT OR VEGETATION SHALL BE GRASSED OR SODDED.
 14. OWNER SHALL ACCEPT MAINTENANCE OF THE STORM DRAINAGE SYSTEM, INCLUDING ROOF DRAIN CONNECTIONS, WITHIN THE LIMITS OF THE PROPERTY. GARDEN CITY WILL NOT MAINTAIN THE STORM DRAINAGE SYSTEM WITHIN THE PROPERTY. THE SITE IS DESIGNED TO DISCHARGE STORM WATER RUNOFF INTO THE APPROVED MASTER DRAINAGE CONVEYANCE AND DETENTION SYSTEM.
 15. DITCHES, ALL DRAINAGE STRUCTURES, OPENINGS AND PAVEMENT ELEVATIONS SHALL BE SURVEYED FOR "AS-BUILT" DIMENSIONS ALONG WITH THE WATER AND SANITARY SEWER SERVICES.
 16. ADJUST EXISTING MANHOLE FRAMES, GRATES AND VALVE BOXES TO GRADE AS NEEDED.
 17. ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
 18. MATCH EXISTING PAVEMENT GRADE ELEVATIONS WHERE CONNECTING TO EXISTING PAVEMENT.
 19. FILL BENEATH BUILDINGS SHALL BE COMPACTED IN ACCORDANCE WITH BUILDING STRUCTURAL SPECIFICATIONS.
 20. CONTRACTOR TO FIELD VERIFY DURING CONSTRUCTION ANY EXISTENCE OF SUB-SURFACE DEBRIS OR ORGANIC MATERIAL. ANY SUB-SURFACE DEBRIS OR ORGANIC MATERIAL FOUND SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2' BELOW GRADE AGGREGATE BASE IN PAVEMENT AREAS AND 2' BELOW BOTTOM OF FOOTINGS FOR BUILDINGS (CONTRACTOR SHALL CONSULT WITH BUILDING STRUCTURAL ENGINEER FOR ANY WORK BE NEAR OR ADJACENT TO BUILDING AND/OR ABOVE OR BELOW GRADE STRUCTURES). IF EXCESSIVE DEBRIS OR ORGANIC MATERIAL IS FOUND, ENGINEER SHALL BE CONTACTED FOR INSPECTION. REMOVAL OF SUSPECTED MATERIAL SHALL BE DIRECTED BY THE ENGINEER.
 21. ALL EROSION AND SEDIMENT CONTROL DEVICES (BMP'S) SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL AND BE MAINTAINED BY CONTRACTOR UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE GOVERNING NPDES GENERAL PERMIT.
 22. IF A BRIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN SUCH PERMIT.
 23. THE GARDEN CITY INSPECTIONS DEPARTMENT RESERVES THE RIGHT TO ACCESS PROPERTY TO INSPECT STORM WATER FACILITIES AT ANY TIME.
 24. CHLORINATED, DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
 25. TRAFFIC CONTROL AND FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
 26. A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL INSTALLED OR RELOCATED UTILITIES AND LARGE AND MEDIUM TREES.
 27. ANY AND ALL STREET LIGHTING, LANDSCAPE, SIDEWALKS AND ACCESSIBILITY REQUIREMENTS TO BE PERFORMED, DESIGNED AND/OR CONSTRUCTED SHALL BE COORDINATED WITH CIVIL ENGINEER.
 28. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MECHANICAL ELECTRICAL AND PLUMBING PLANS FOR THE ROOF DRAIN SYSTEM. COLLECTION AND DISCHARGE SHALL BE COORDINATED WITH CIVIL ENGINEER.
 29. SITE CURE PLANS SHALL TERMINATE 5' FROM BUILDING FACE UNLESS OTHERWISE NOTED. CONTINUATION OF WATER, SANITARY SEWER AND STORM DRAINAGE LATERALS SHALL BE COORDINATED WITH BUILDING CONTRACTOR IN ACCORDANCE WITH ARCHITECTURAL AND/OR MECHANICAL ELECTRICAL AND PLUMBING PLANS.
 30. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE APPROPRIATE AGENCIES APPROVED CONSTRUCTION SPECIFICATIONS AND DETAILS.
 31. THE OWNER, OWNER'S REPRESENTATIVES, GARDEN CITY AND OTHER REGULATORY AGENCIES SHALL HAVE THE RIGHT TO ACCESS THE SITE AT ANY TIME FOR PURPOSES OF OBSERVING WORK PERFORMANCE.
 32. ALL UTILITIES ARE SHOWN AS APPROXIMATE ON THE PLANS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. CON-UTILITIES AND SERVICE LOCATIONS ARE SHOWN AND NOT SHOWN ON THE PLANS. THE DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY TO PROTECT EXISTING UNDERGROUND FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A VALID UTILITY LOCATE TICKET FROM THE GEORGIA UTILITIES PROTECTION CENTER (811) 800-282-7411, AND COORDINATION WITH OTHER SUCH LOCAL UTILITIES AS MAY BE REQUIRED.
 33. THE CONTRACTOR WILL PROTECT ALL TREES NOTED TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION ZONE. ANY UNAUTHORIZED REMOVAL OF TREES NOTED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTITUTE TO THE SATISFACTION OF THE ENGINEER.
 34. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. ALL BORROW MATERIAL SHALL BE CLEAN AND FREE OF DEBRIS AND ORGANIC MATERIAL AND SUFFICIENT TO COMPACT TO A MINIMUM BEARING CAPACITY OF 2,000PSF OR AS OTHERWISE SPECIFIED.
 35. ALL ITEMS CLEARED OR DEMOLISHED FROM THE SITE, INCLUDING SPILL MATERIAL, TO BE REMOVED FOR OFFSITE DISPOSAL, ARE THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED ON THE SITE OR OTHERWISE NOTED. NO BURNING OR BURNING OF DEBRIS WILL BE ALLOWED ON THE SITE.
 36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL OF GEORGIA.



STANDARD CONSTRUCTION DETAILS

HANDICAP PARKING SIGN DETAIL

— ACCESSIBLE ROUTE (MIN. 48" WIDTH) —



STANDARD CONSTRUCTION DETAILS

ADA HANDICAP PARKING SPACE STRIPING DETAIL

— ACCESSIBLE ROUTE (MIN. 48" WIDTH) —



CONTRACTOR IS REQUIRED TO CALL AT LEAST 3 DAYS PRIOR TO START OF CONSTRUCTION

LETTER D HAS COST: \$10.00 EDP: 12/01/2004

HWY. 21 CARWASH
Specific Development Plan
Site Permit #TBD

MEI Proj #673-22-44 Plan Date: 1/4/23

PREPARED FOR:
DEWITT TILTON GROUP
CHRIS TILTON
119 CANAL STREET SUITE 106
POOLER, GEORGIA 31322
912-777-3404
kim@dewitttiltongroup.com



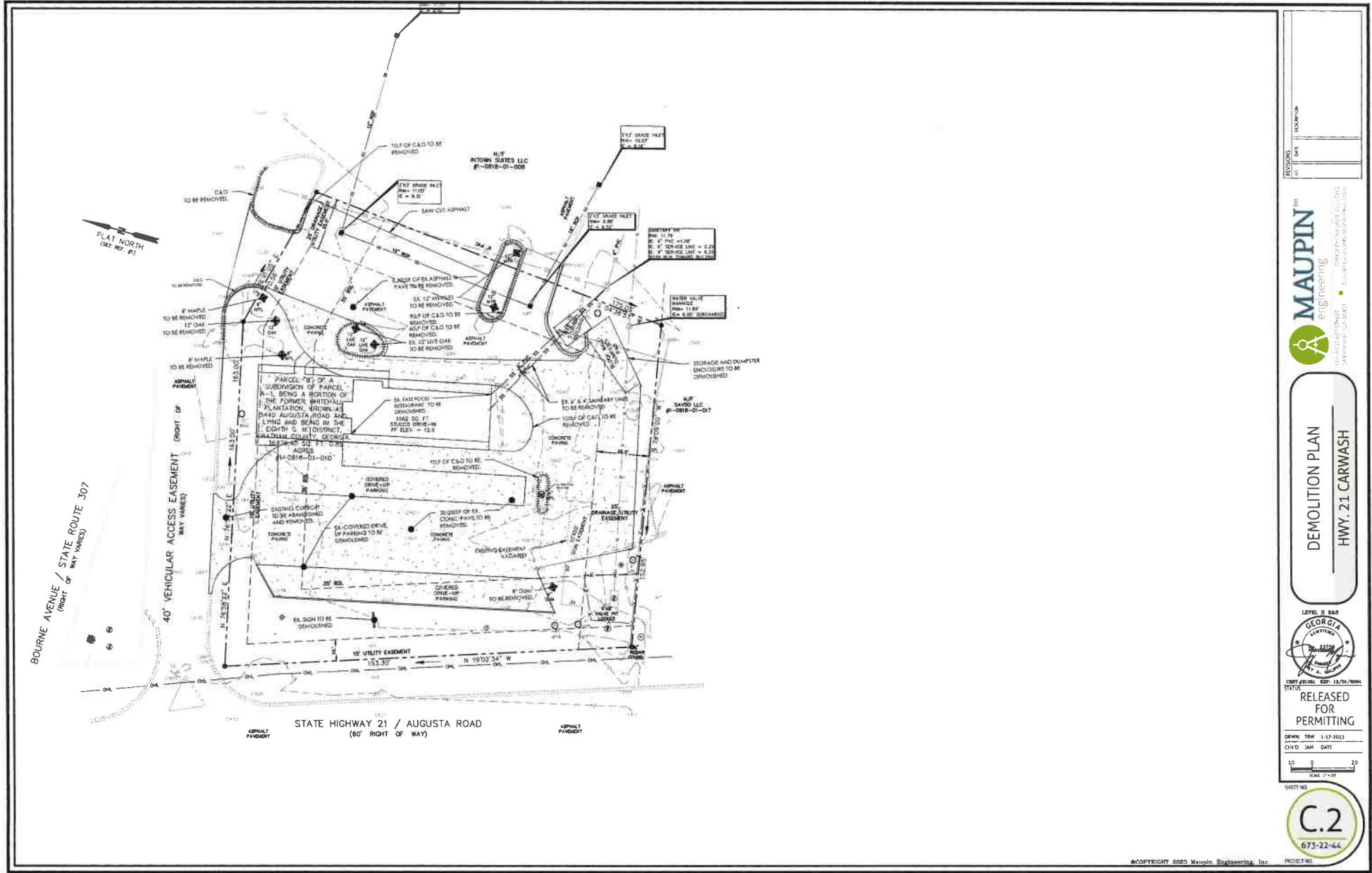
114 WEST 42ND STREET
SAVANNAH, GA 31401

SHEET INDEX

C.1	COVER - NOTES
C.2	DEMOLITION PLAN
C.3	STAKING PLAN
C.4	UTILITY PLAN
C.5	GRADING PLAN
C.6	LANDSCAPING PLAN
C.E.1	EROSION CONTROL PLAN - INITIAL
C.E.2	EROSION CONTROL PLAN - INTERMEDIATE
C.E.3	EROSION CONTROL PLAN - FINAL
C.D1-D3	DETAILS

THIS SET IS RELEASED FOR PERMITTING 1/4/23
NOT FOR PRICING

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REVISIONS	DATE	DESCRIPTION

MAUPIN
 engineering
 116.022177040487
 116.022177040487
 116.022177040487
 116.022177040487

DEMOLITION PLAN
HWY. 21 CARWASH

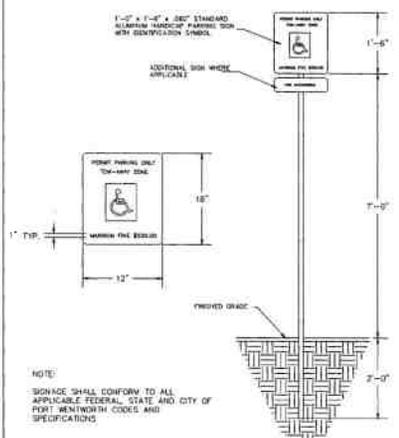
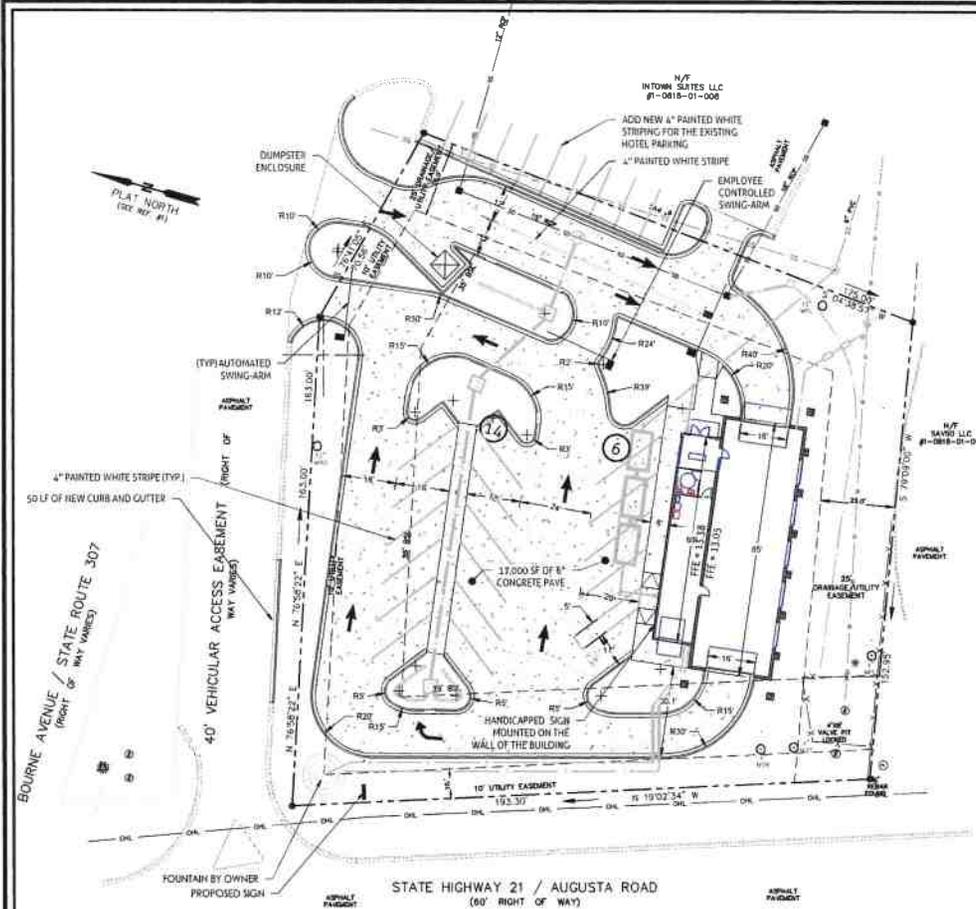


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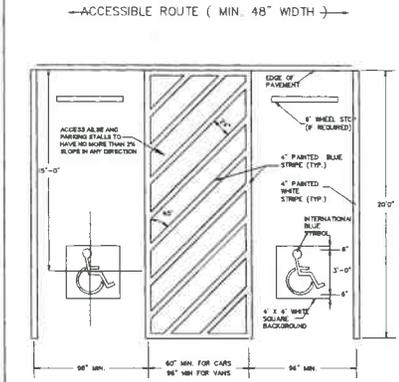
DATE TRW 1-17-2023
 CHK'D JAN DATE



SHEET NO.
C.2
 673-22-44



STANDARD CONSTRUCTION
DETAILS
HANDICAP PARKING SIGN DETAIL



STANDARD CONSTRUCTION
DETAILS
ADA HANDICAP PARKING SPACE STRIPING DETAIL

REVISIONS

NO.	DATE	DESCRIPTION

MAUPIN
Engineering

116 ALLEY DRIVE
LAWSONVILLE, GA 30546

STAKING PLAN
HWY. 21 CARWASH

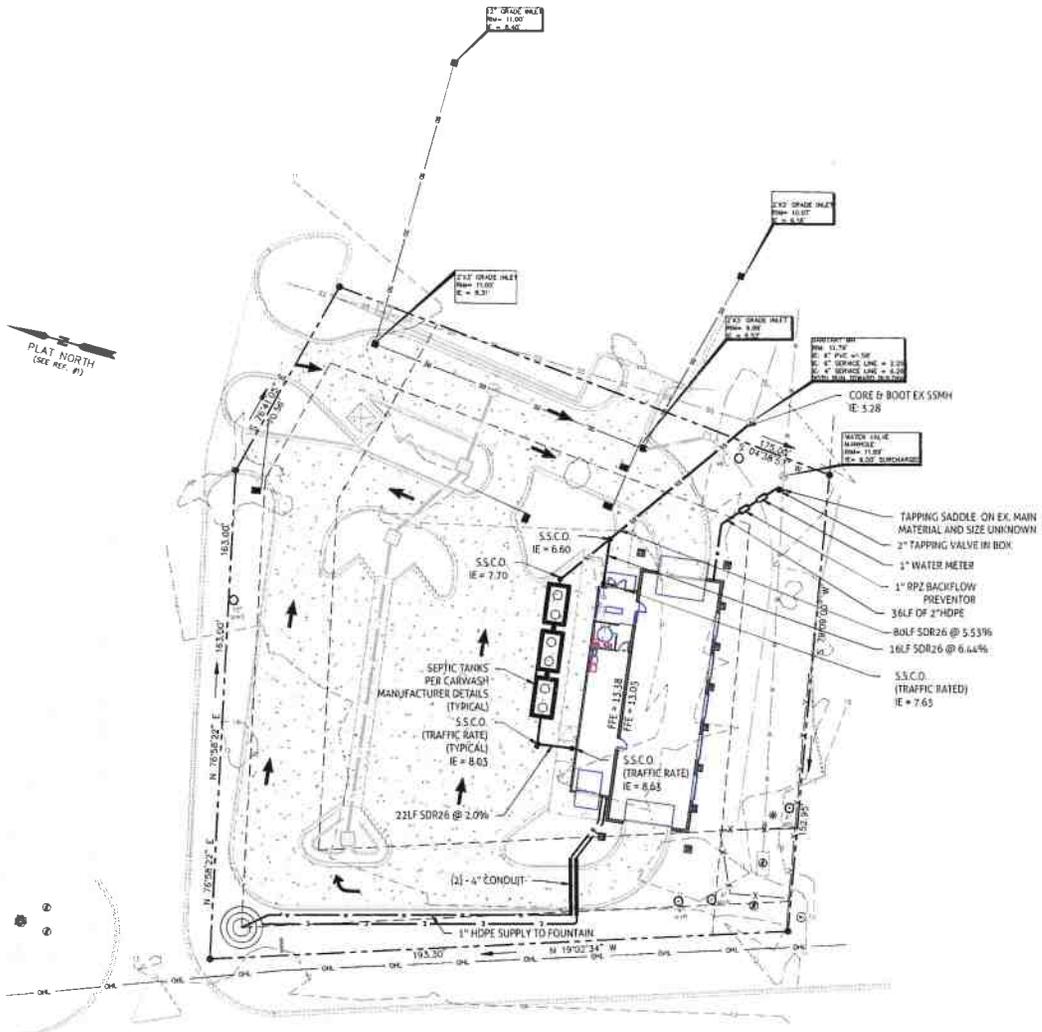
LEVEL 0 EAS
GEORGIA
REGISTERED PROFESSIONAL ENGINEER
No. 22728
A. MAUPIN

RELEASED FOR PERMITTING

DATE: JAN DATE

SCALE: 1"=20'

SHEET NO. **C.3**
673-22-44



- WATER NOTES:**
1. NO IRRIGATION SYSTEM IS PROPOSED FOR THIS PROJECT
 2. FIRE PROTECTION SYSTEM IS NOT INCLUDED FOR THIS PROJECT
 3. NO INDUSTRIAL WASTEWATER WILL BE DISCHARGED FROM PROJECT

REVISION	DATE	DESCRIPTION

MAUPIN
engineering

115 WEST 42ND STREET
GAINESVILLE, GA 30601

UTILITY PLAN
HWY. 21 CARWASH



RELEASED FOR PERMITTING

DRAWN: TRW 1-17-2023
CHECKED: JAH DATE



SHEET NO. **C.4**
673-22-44

REVISION	NO.	DATE	DESCRIPTION

MAUPIN
engineering

114 W. 42nd St.
Savannah, GA 31401
912.235.2915
www.maupinengineering.com

GRADING PLAN
HWY. 21 CARWASH



RELEASED FOR PERMITTING

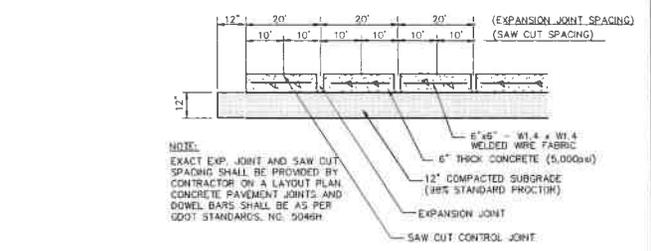
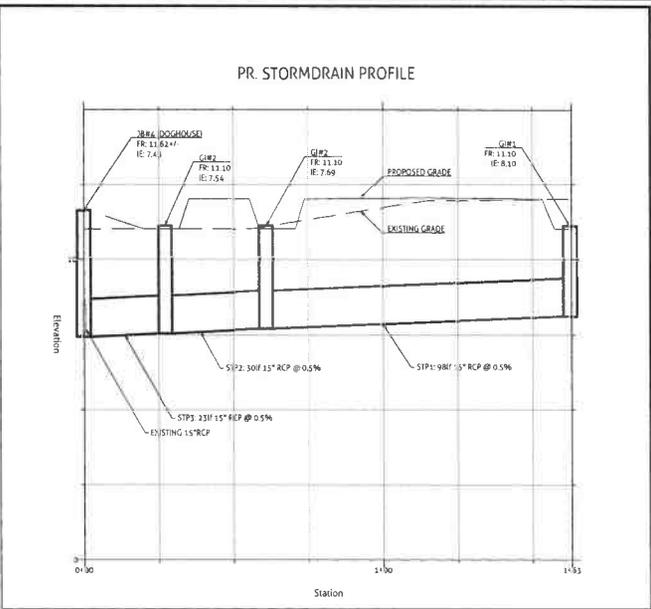
DATE: JAN DATE

Scale 1"=20'



C.5
673-22-44

PROJECT NO.



CONCRETE PAVEMENT SECTION
NOT TO SCALE

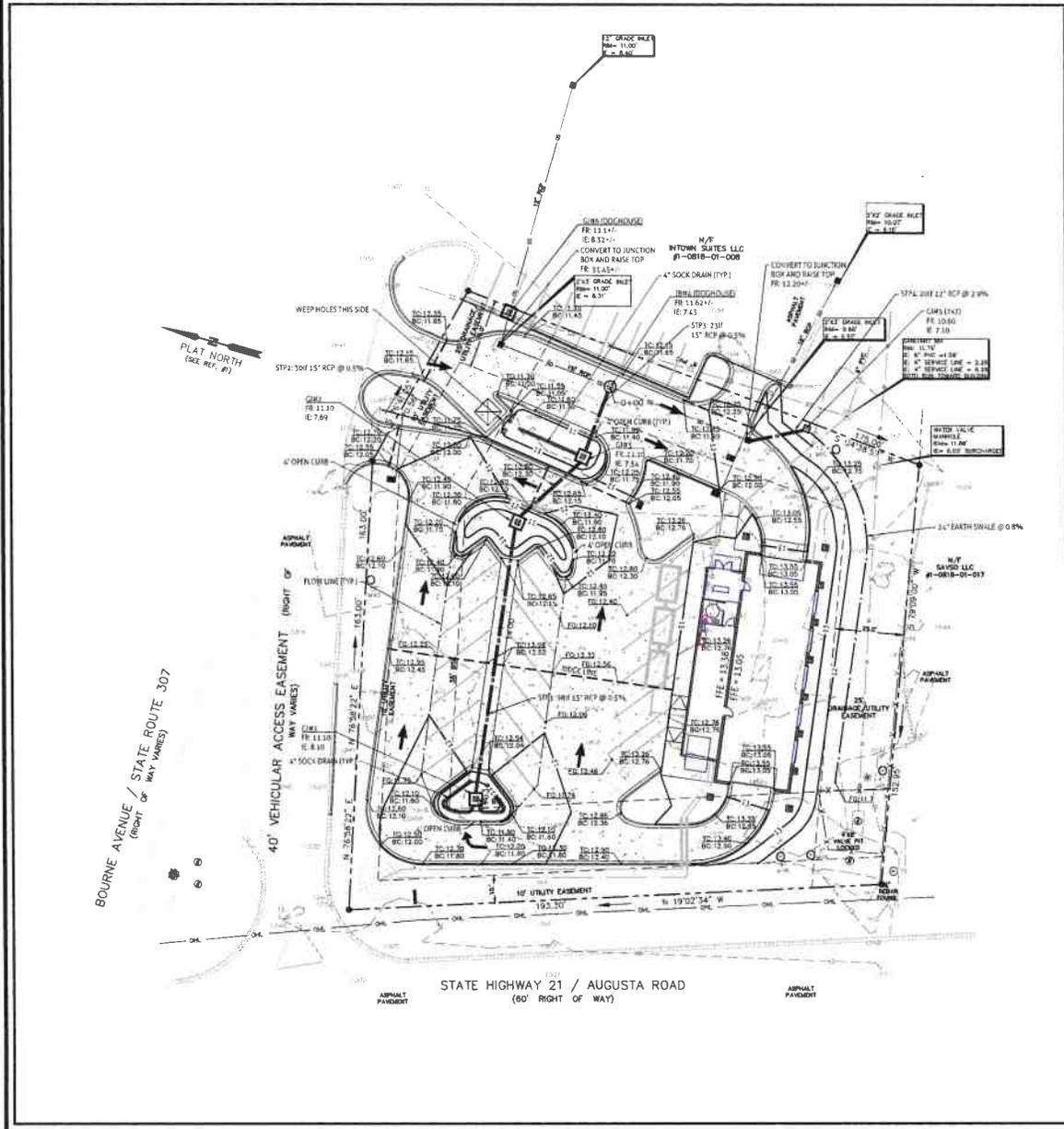
Designer's Certification Statement
I, Jay Maupin, am a professional engineer registered in the State of Georgia, and am familiar with the requirements of GARDEN CITY's Stormwater Management Ordinance, GARDEN CITY's Local Design Manual, GARDEN CITY's Flood Protection Ordinance, GARDEN CITY's Subdivision Ordinance, GARDEN CITY's Erosion and Sediment Control Ordinance, hydraulic engineering principles, and low impact design/green infrastructure design practices.

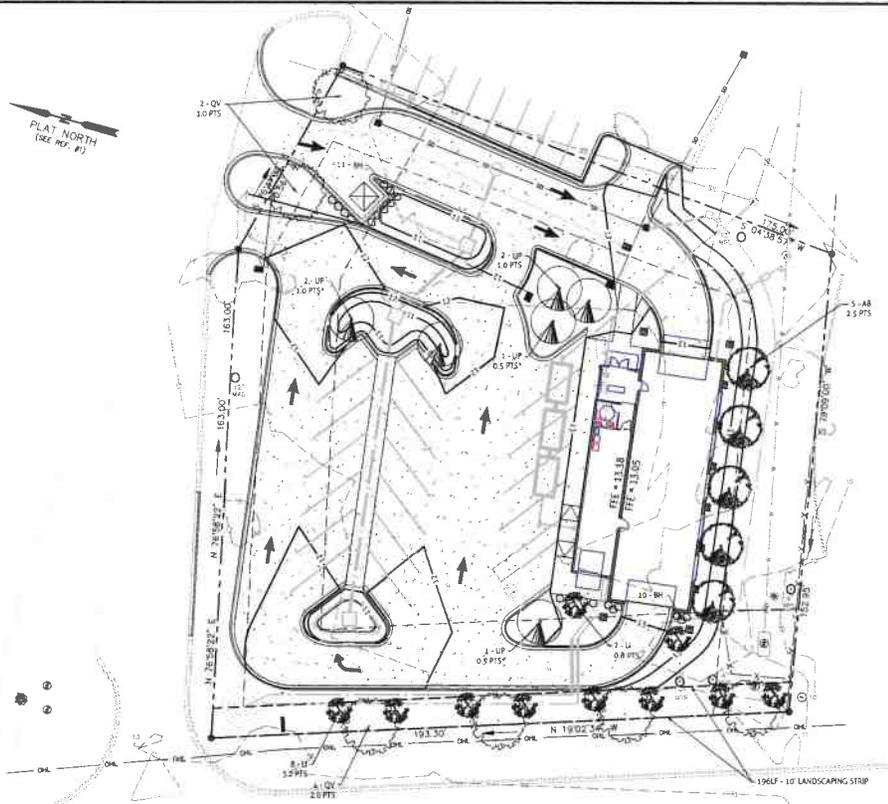
The attached design plans, Stormwater Management Report, and Stormwater Management Operations and Maintenance Plan for the site development known as HWY. 21 CARWASH located at 848 AUGUSTA ROAD, Garden City, GA 31407 are designed in compliance with the Local Design Manual of GARDEN CITY, GARDEN CITY's Stormwater Management Ordinance, GARDEN CITY's Flood Protection Ordinance, GARDEN CITY's Subdivision Ordinance, and GARDEN CITY's Erosion and Sediment Control Ordinance.

Further, when constructed according to the design plans, and operated according to the facility Stormwater Operations and Maintenance Plan, the facility will function in compliance with the Local Design Manual of GARDEN CITY, GARDEN CITY's Stormwater Management Ordinance, GARDEN CITY's Flood Protection Ordinance, GARDEN CITY's Subdivision Ordinance, and GARDEN CITY's Erosion and Sediment Control Ordinance.

Name: Jay Maupin, PE
Address: 114 W. 42nd St.
City/State/Zip: Savannah, GA 31401
Daytime Telephone Number: 912-235-2915
Email Address: jmaupin@maupinengineering.com
Signature: [Signature]

Date: 1/20/23
Seal: [Seal]





LANDSCAPING REQUIREMENT CALCS

Total Parcel Area, TA	0.85	Acres
Greenscape	0.00 (X)	Acres (X)
Building Width, BW	40	Feet
Parking Spaces, PS	20	Spaces
PL to ROW Length, LF	193	Linear Feet
Buffer Area, BA	0.00	Acres
Net Parcel Area, TA _{net} (TA - BA)	0.85	Acres
Site Density Required (Min * 11units/acre)	13.6	Units
Parking Trees Required (PS / 5 spaces)	4	Trees
Landscape Strip Canopy Trees Required (LF * 1 Tree/25 ft)	4	Trees
Landscape Strip Understory Trees Required (LF * 1 Tree/25 ft)	8	Trees
Building Landscape Strip Understory Req'd (BW * 1 Tree/25ft)	2	Trees
Building Landscape Strip Shrubs Req'd (BW * 1 Evergreen Shrub/4ft)	10	Shrubs
Total Tree Density Preserved	1.2	Units
Total Tree Density Planted	12.5	Units
Total Tree Density Points	13.7	Units
Parking Trees Provided *	4	Trees*
Landscape Strip Canopy Trees Provided	4	Trees
Landscape Strip Understory Trees Provided	8	Trees
Building Understory Trees Provided	2	Trees
Building Evergreen Shrubs Provided	10	Shrubs

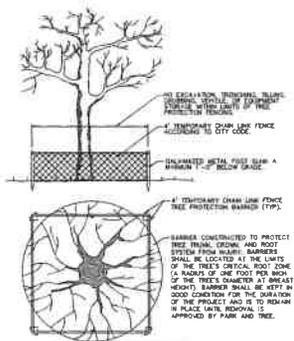
Landscape Requirement Met

PLANTING SCHEDULE

ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	UNITS
BH	BUXUS HARLANDII	HARLAND BOXWOOD	21	24" HEIGHT	3' O.C.	--
LI	LAGERSTROEMIA INDICA	GRAPE MYRTLE	10	1.0" CALIPER	AS SHOWN	4.0
UP	ULMUS PARVIFOLIA	LACEBARK CHINESE ELM	6	2.5" CALIPER	AS SHOWN	3.0
AB	ACER BARBATUM	FLORIDA MAPLE	5	2.5" CALIPER	AS SHOWN	2.5
QV	QUERCUS VIRGINIANA	LEVE OAK	6	2.5" CALIPER	AS SHOWN	3.0
TOTAL						12.5

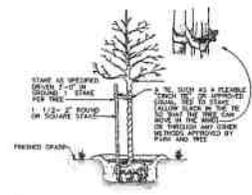
PRESERVED TREES

ITEM	COMMON NAME	QTY	SIZE	UNITS
MYR	MYRTLE	2	4" DBH	--
MPL	MAPLE	1	4" DBH	--
MPL	MAPLE	1	12" DBH	0.6
MAG	MAGNOLIA	1	12" DBH	0.6
				1.2



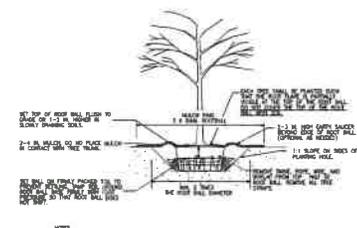
- FOR AGED PROTECTION**
- PROVIDE 4" DEEP WOOD CHIP MOUND OVER ANY UNEXPECTED ROOT ZONE.
 - MAKE CLEAR CUTS ON ROOTS EXPOSED BY GRADING AND BACKFILL IMMEDIATELY.
 - PROVIDE TEMPORARY BIRCHBARK WHERE PRACTICAL AND FEASIBLE.

Tree Protection NTS



- NOTES**
- SOME TREES ONLY WHEN NECESSARY, STAKES SHALL BE REMOVED 1 MONTH AFTER PLANTING.
 - OTHER ALTERNATE STAKING METHODS MAY BE USED UPON APPROVAL BY PARK AND TREE.

Tree Staking NTS



- NOTES**
- PLANT ONLY PLANTING LABEL (2-DIGIT) LEAVES AND PRESS IN NEW PLANTING.
 - PLANTING LABEL SHALL BE PLACED 18\"/>

Tree Planting NTS

REVISIONS
DATE
BY

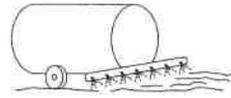
MAUPIN
Engineering
114-1111 47th Street
Lawrenceville, GA 30046

LANDSCAPING PLAN
HWY. 21 CARMASH

LEVEL II EAS
GEORGIA
REGISTERED PROFESSIONAL ENGINEER
No. 2222
A. MAUPIN

STATUS: **RELEASED FOR PERMITTING**
DATE: 1-17-2023
DRAWN BY: JAM
CHECKED BY: JAM

Scale 1"=10'
C.6
673-22-44

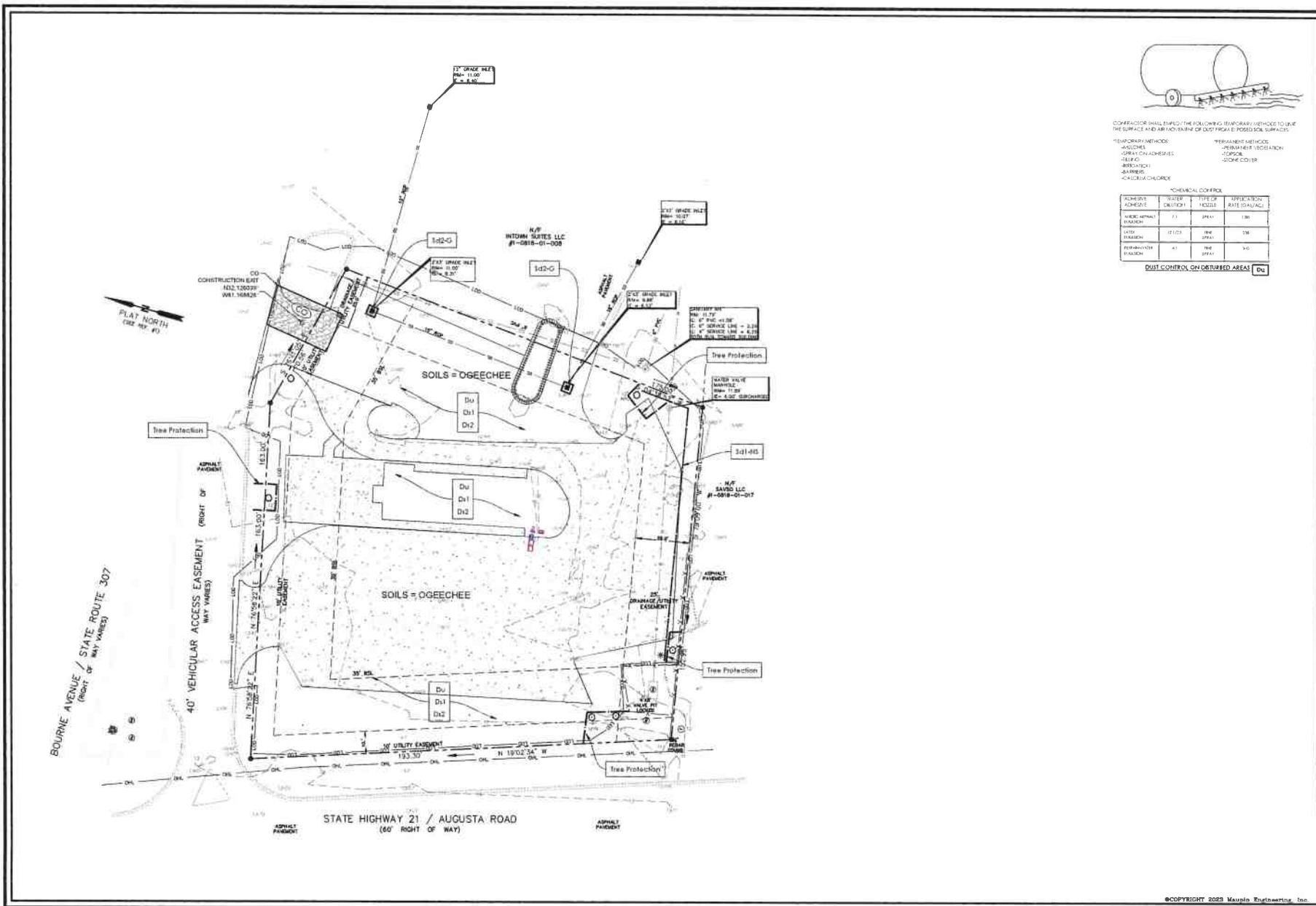


CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LEAVE THE SURFACE AND AIR ADJACENT TO DUST FROM EXPOSED SOIL SURFACES:

- | | |
|----------------------|--------------------|
| TEMPORARY METHODS: | PERMANENT METHODS: |
| -MACHINE | -VEGETATION |
| -SPRAY ON ADHESIVES | -TOPSOIL |
| -SEEDS | -STONE COVER |
| -BIOLOGICAL BARRIERS | |
| -CALCIUM CHLORIDE | |

CHEMICAL CONTROL			
ADHESIVE	WATER SOLUTION	TYPE OF MOBILE	APPLICATION RATE (GAL/SQ. YD.)
HYDROLYZABLE POLYMER	7%	SPRAY	1.00
LIQUID EMULSION	12.0%	SPRAY	1.00
POLYMER EMULSION	4%	SPRAY	3.00

DUST CONTROL ON OBSTACLED AREAS: Du



REVISIONS	DATE	DESCRIPTION

MAUPIN
 engineering
 114 WEST 47 STREET
 LAWRENCE, GA 30046
 PHONE: 770.962.2255
 FAX: 770.962.2256
 WWW.MAUPIN-ENGINEERING.COM

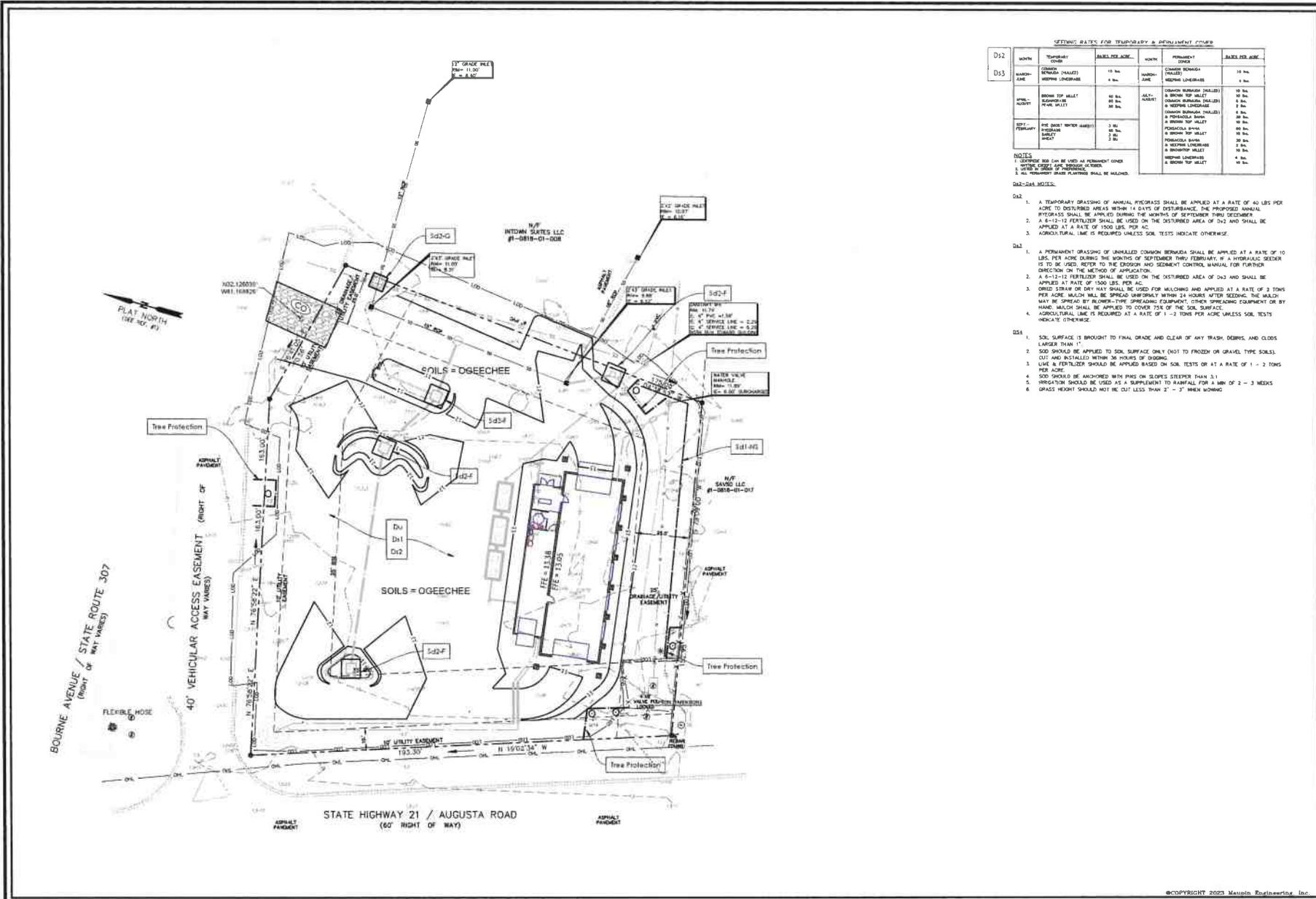
SEDIMENT AND EROSION CONTROL PLAN - INITIAL
HWY. 21 CARWASH

LEVEL B SEAL
GEORGIA
 REGISTERED PROFESSIONAL ENGINEER
 No. 22274
 J. A. MAUPIN

RELEASED FOR PERMITTING

DATE: 1-17-2023
 CHK'D: JAM DATE: _____
 SCALE: 1"=20'

SHEET No. **C.e1**
 673-22-44



SEEDING RATES FOR TEMPORARY & PERMANENT COVER

DIST	TEMPORARY COVER		PERMANENT COVER	
	SEEDS PER ACRE	SOILS PER ACRE	SEEDS PER ACRE	SOILS PER ACRE
D02	COMMON BERNIADA (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	WHEAT (DILLED)	4 lbs	WHEAT (DILLED)	4 lbs
D03	BROWN TOP WILLET	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BEANWING PINE WILLET	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D04	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D05	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D06	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D07	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D08	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D09	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D10	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D11	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D12	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D13	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D14	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D15	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D16	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D17	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D18	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D19	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D20	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D21	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D22	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D23	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D24	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D25	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D26	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D27	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D28	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D29	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
D30	RYE (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs
	BARLEY (DILLED)	10 lbs	COMMON BERNIADA (DILLED)	10 lbs

- NOTES:**
- TEMPORARY COVER CAN BE USED AS PERMANENT COVER.
 - SEEDS PER ACRE SHALL BE APPLIED WITHIN 14 DAYS OF DISTURBANCE.
 - AGRICULTURAL LINE IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE.
- D02-D04 NOTES:**
- A TEMPORARY GRASSING OF ANNUAL PTERODRIS SHALL BE APPLIED AT A RATE OF 40 LBS PER ACRE TO DISTURBED AREAS WITHIN 14 DAYS OF DISTURBANCE. THE PROPOSED ANNUAL PTERODRIS SHALL BE APPLIED DURING THE MONTHS OF SEPTEMBER THRU DECEMBER.
 - A 6-12-12 FERTILIZER SHALL BE USED ON THE DISTURBED AREA OF D02 AND SHALL BE APPLIED AT A RATE OF 1500 LBS. PER ACRE.
 - AGRICULTURAL LINE IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE.
- D05-D08 NOTES:**
- A PERMANENT GRASSING OF UNRAILED COMMON BERNIADA SHALL BE APPLIED AT A RATE OF 10 LBS PER ACRE DURING THE MONTHS OF SEPTEMBER THRU FEBRUARY. IF A HYDRAULIC SEEDER IS TO BE USED, REFER TO THE EROSION AND SEDIMENT CONTROL MANUAL FOR FURTHER DIRECTION ON THE METHOD OF APPLICATION.
 - A 6-12-12 FERTILIZER SHALL BE USED ON THE DISTURBED AREA OF D05 AND SHALL BE APPLIED AT A RATE OF 1500 LBS. PER ACRE.
 - ORIED STRAW OR DRY HAY SHALL BE USED FOR MULCHING AND APPLIED AT A RATE OF 2 TONS PER ACRE. MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE.
 - AGRICULTURAL LINE IS REQUIRED AT A RATE OF 1 - 2 TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE.
- D09-D15 NOTES:**
- SOIL SURFACE IS BROUGHT TO FINAL GRADE AND CLEAR OF ANY TRASH, DEBRIS, AND CLODS LARGER THAN 1".
 - SOIL SHOULD BE APPLIED TO SOIL SURFACE ONLY (NOT TO FROZEN OR GRAVEL TYPE SOILS). CUT AND INSTALLED WITHIN 36 HOURS OF DOING.
 - LIME & FERTILIZER SHOULD BE APPLIED BASED ON SOIL TESTS OR AT A RATE OF 1 - 2 TONS PER ACRE.
 - SOIL SHOULD BE ANCHORED WITH PINS OR SLOTTED GREENS THAN 3:1.
 - IRRIGATION SHOULD BE USED AS A SUPPLEMENT TO MANUAL FOR A MIN OF 2 - 3 TIMES PER WEEK. GRASS HEIGHT SHOULD NOT BE CUT LESS THAN 2" - 3" WHEN MOWING.

SEDIMENT AND EROSION CONTROL PLAN - INTERMEDIATE

HWY. 21 CARWASH

LEVEL B BAS

GEORGIA ENGINEERING

1111 1/2 1ST AVENUE, SUITE 200, LAWRENCEVILLE, GA 30046

(770) 962-1111

COPYRIGHT 2023 MAUPIN ENGINEERING, INC.

STATUS: RELEASED FOR PERMITTING

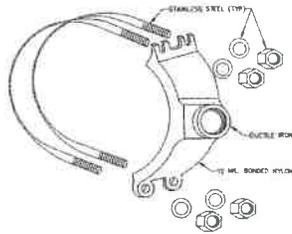
DATE: 1-17-2023

CHKD: JAM DATE: 1-17-23

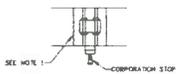
SCALE: 1" = 20'

SHEET NO: 673-22-44

PROJECT NO:



- NOTES:
1. TAPPING SADDLE TO BE QUICKEE WITH 1/2" POLYETHYLENE SLIP ON FITTING. STAINLESS STEEL BOLTS, NUTS, AND WASHERS FINISH IS POLISH BONDING SYSTEM TO AVERAGE WORKERS OF TOWNS.
 2. ALL TAPS ON WATER LINES WILL REQUIRE A TAPPING SADDLE.

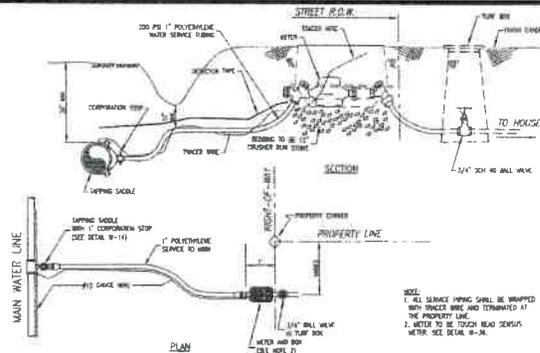


GARDEN CITY

1" & 2" TAPPING SADDLE

N.T.S.
APRIL 2007

W-11



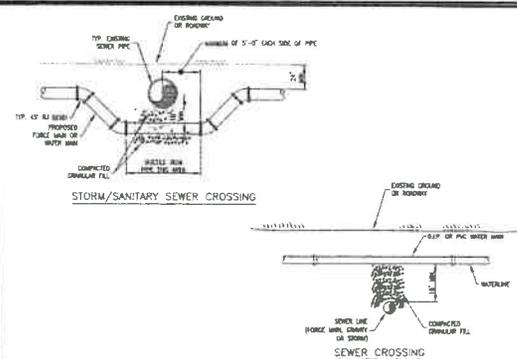
TYPICAL SINGLE SERVICE CONNECTION

GARDEN CITY

SERVICE CONNECTION DETAIL

N.T.S.
APRIL 2007

W-10



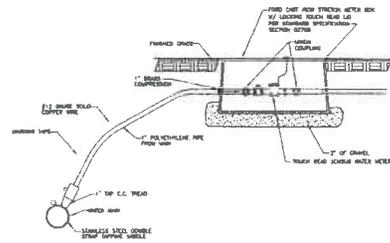
GARDEN CITY

PIPELINE CROSSING DETAIL

N.T.S.
APRIL 2007

W-16

- GENERAL NOTES:
1. WATER METER AND SERVICE BOX FOR THE 3/4" & 1" WATER SERVICE SHALL BE PROVIDED FROM GARDEN CITY.
 2. THE INSTALLATION OF THE METER AND BOX SHALL BE DONE BY THE CUSTOMER REQUESTING SERVICE.
 3. IF A NEW TAP IS REQUIRED FOR THE WATER SERVICE IT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER REQUESTING SERVICE TO OBTAIN THE WATER METER FROM GARDEN CITY. THE WATER METER SHALL BE PROVIDED BY THE CUSTOMER REQUESTING SERVICE.
 4. THE CUSTOMER REQUESTING SERVICE SHALL BE RESPONSIBLE FOR ALL DESIGN, INSTALLATION AND PROTECTION OF EXISTING UTILITY.

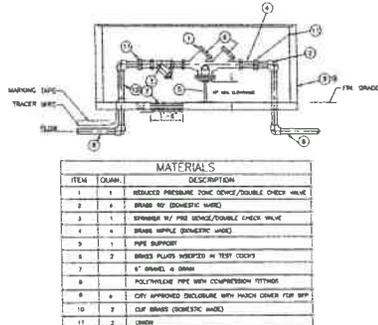


GARDEN CITY

WATER METER INSTALLATION
1" SERVICE PIPE, 3/4" WATER METER &
1" WATER METER
DOMESTIC, IRRIGATION & COMMERCIAL USE ONLY

N.T.S.
APRIL 2007

W-21



ITEM	QUAN.	DESCRIPTION
1	1	REDUCED PRESSURE ZONE DEVICE/DOUBLE CHECK VALVE
2	4	BRASS 90 DEGREE ELBOW
3	1	BRASS 90 DEGREE ELBOW/DOUBLE CHECK VALVE
4	4	BRASS WIPPLE (DOMESTIC USE)
5	1	PIPE SUPPORT
6	2	BRASS PLUGS W/ROPS IN TEST COCKS
7	2	6" BRASS 90 DEGREE
8	1	POLYETHYLENE PIPE WITH CORPORATION FITTING
9	2	CITY APPROVED ENCLOSURE WITH HATCH COVER FOR BPP
10	2	6" BRASS DOMESTIC WAVER
11	2	UNION

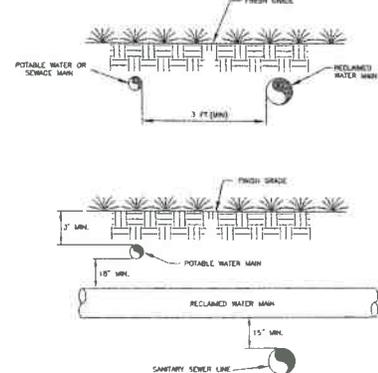
AS RECOMMENDED BY THE CITY FOR FREEZE PROTECTION

GARDEN CITY

BACKFLOW PREVENTER DETAIL
3/4", 1", 1-1/2", 2"

N.T.S.
APRIL 2007

W-28



GARDEN CITY

SEPARATION REQUIREMENTS
FOR RECLAIMED WATER MAINS

N.T.S.
APRIL 2007

W-02

REVISIONS
DATE
BY
NO.

MAUPIN
engineering
11555 W. 11TH AVENUE, SUITE 200
DENVER, CO 80233
TEL: 303.751.1100
WWW.MAUPIN-ENGINEERING.COM

WATER DETAILS
HWY. 21 CARWASH



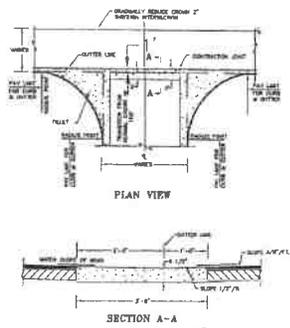
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DATE: 1-17-2023

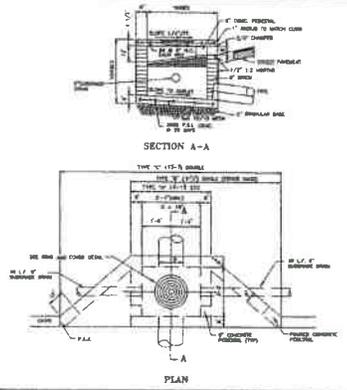
CHKD: JAM DATE

NOT TO SCALE

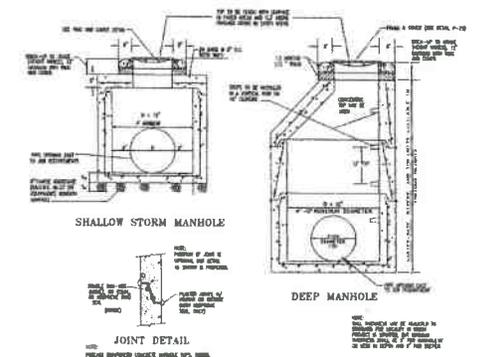
SHEET NO.
C.d3
673-22-44



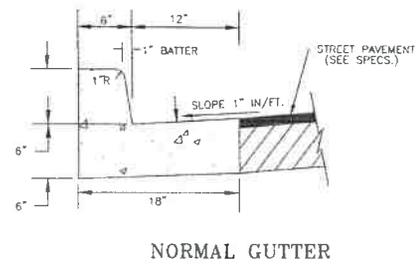
GARDEN CITY CONCRETE SWALE WITH FILLETS N.T.S. P-31
DATE: APRIL 2007



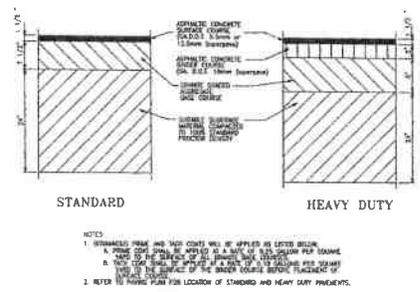
GARDEN CITY STANDARD CURB INLET N.T.S. P-19
DATE: APRIL 2007



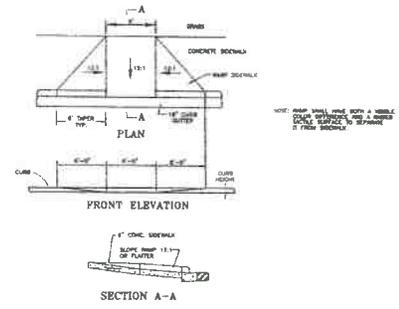
GARDEN CITY STANDARD PRECAST CONCRETE STORM MANHOLE N.T.S. P-23
DATE: APRIL 2007



GARDEN CITY 18" CURB & GUTTER N.T.S. P-03
DATE: APRIL 2007

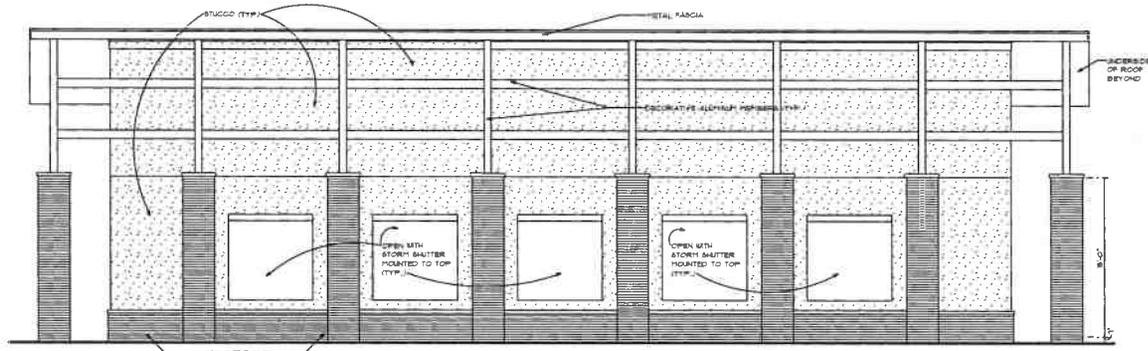


GARDEN CITY TYPICAL PAVEMENT SECTIONS N.T.S. P-10
DATE: APRIL 2007

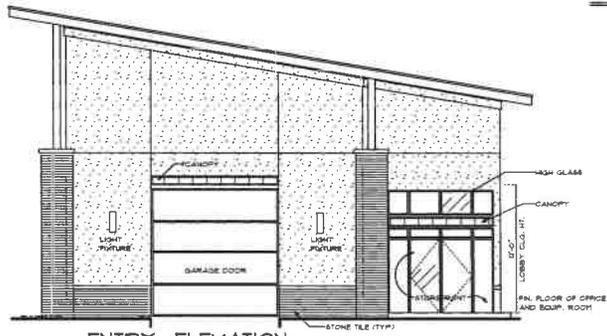


GARDEN CITY HANDICAP RAMP DETAILS N.T.S. P-16
DATE: APRIL 2007

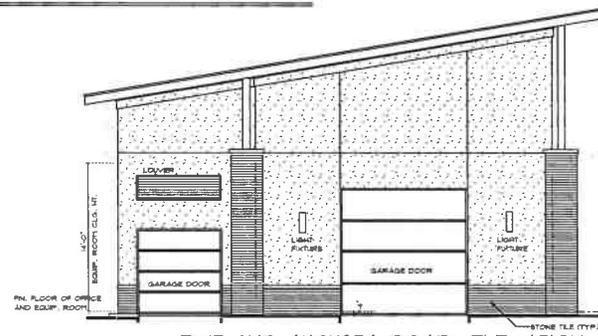
REVISIONS: DATE: DRAWN BY: MAUPIN ENGINEERS INC. PAVING DETAILS
 STATUS: RELE/FO PERMI
 DRAWN: JAM DA
 CHECK: JAM DA
 SHEET NO: 673-22
 PROJECT NO:



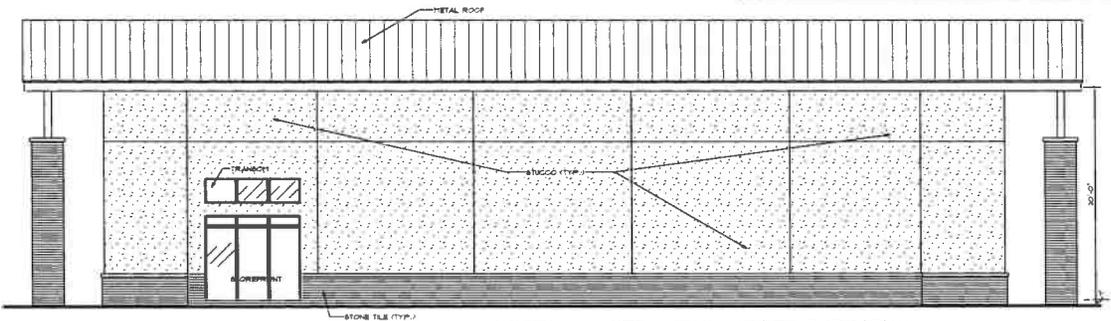
AUGUSTA SIDE ROAD VIEW ELEVATION



ENTRY ELEVATION



EXIT AND AUGUSTA ROAD ELEVATION



INTERNAL VIEW - FROM VAC. ELEVATION

A CARWASH DESIGNED FOR
5440 AUGUSTA ROAD
GARDEN CITY, GA
31408

DATE: 2.23.23

REVISED:

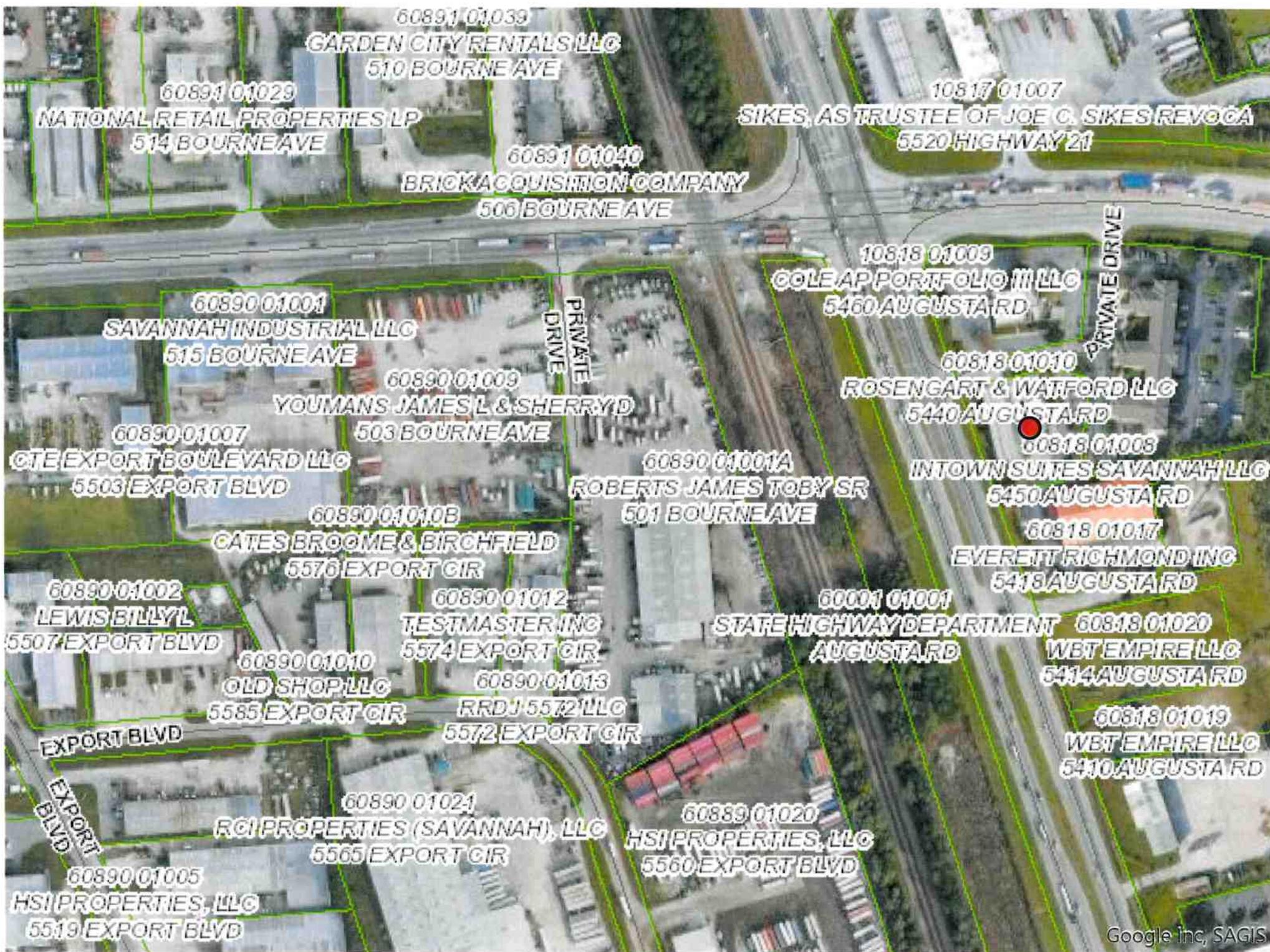
SHEET NAME:

ELEVATIONS

SHEET #:

A1

OF



60891 01039

GARDEN CITY RENTALS LLC
510 BOURNE AVE

60891 01029

NATIONAL RETAIL PROPERTIES LP
514 BOURNE AVE

10817 01007

SIKES, AS TRUSTEE OF JOE C. SIKES REVOC A
5520 HIGHWAY 21

60891 01040

BRICK ACQUISITION COMPANY
506 BOURNE AVE

60890 01001

SAVANNAH INDUSTRIAL LLC
515 BOURNE AVE

10818 01009

CCLEAP PORTFOLIO III LLC
5460 AUGUSTA RD

PRIVATE DRIVE

60890 01009

YOU MANS JAMES L & SHERRY D
503 BOURNE AVE

60818 01010

ROSENGART & WATFORD LLC
5440 AUGUSTA RD

60890 01007

CTE EXPORT BOULEVARD LLC
5503 EXPORT BLVD

60818 01008

INTOWN SUITES SAVANNAH LLC
5450 AUGUSTA RD

60890 01010B

CATES BROOME & BIRCHFIELD
5576 EXPORT CIR

60890 01001A

ROBERTS JAMES TOBY SR
501 BOURNE AVE

60818 01017

EVERETT RICHMOND INC
5418 AUGUSTA RD

60890 01002

LEWIS BILLY L
5507 EXPORT BLVD

60890 01012

TESTMASTER INC
5574 EXPORT CIR

60001 01001

STATE HIGHWAY DEPARTMENT
AUGUSTA RD

60818 01020

WBT EMPIRE LLC
5414 AUGUSTA RD

60890 01010

OLD SHOP LLC
5585 EXPORT CIR

60890 01013

RRDJ 5572 LLC
5572 EXPORT CIR

60818 01019

WBT EMPIRE LLC
5410 AUGUSTA RD

EXPORT BLVD

60890 01021

RCI PROPERTIES (SAVANNAH), LLC
5565 EXPORT CIR

60889 01020

HSI PROPERTIES, LLC
5560 EXPORT BLVD

60890 01005

HSI PROPERTIES, LLC
5519 EXPORT BLVD

City of Garden General Development Plan Application



Development Information

Development Name		
Beacon Outdoor Billboard		
Property Address		
Heidt Ave		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60802 07001A	.576	C-3
Project Description		
Erect AN LED Billboard on the Property		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		<input type="checkbox"/> Public <input type="checkbox"/> Private N/A

Applicant Information

Owner	
Name	Address
Roberts Management Inc	HEIDT AVE
Phone	Email
912-610-1883	carmenA@savtoy.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Beacon Outdoor Advertising	Lou Ferrando
Phone	Email
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando _____ Signature _____ 2/9/23 _____ Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2310 – Billboard – Heidt Avenue

Application Type	Sign Permit
Case Number	PC 2310
Applicant	Roberts Management
Name of Project	Billboard
Property Address	Heidt Avenue
Parcel IDs	60802 07001A
Area of Property	.58 acres
Current Zoning	C-2A
Proposed Land Use	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a single-sided electronic billboard on Heidt Avenue, near U.S. Highway 80. The sign face (display area) is 382 square feet and measures 36' x 10'6". The proposed height is 50 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

FINDINGS

The maximum height of a billboard adjacent to a local street is 30 feet per Section 90-174.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit, not to exceed 30 feet in height, pending approval from the Georgia Department of Transportation.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	<u>Billboard</u>
Property Address:	<u>HEIDT AVE</u>
Property Owner:	<u>ROBERTS MANAGEMENT INC</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60802 07001A</u>
Zoning Classification:	<u>C-2A GENERAL COMMERCIAL 1</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando

Name (Print)

PO Box 1981 Athens, GA 30606

Address

Beacon Outdoor Advertising

Company Name

706-540-4212

Phone Number


Signature

OFFICE USE ONLY

Plan Submitted: _____

Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

Building Inspector / Code Enforcement Officer



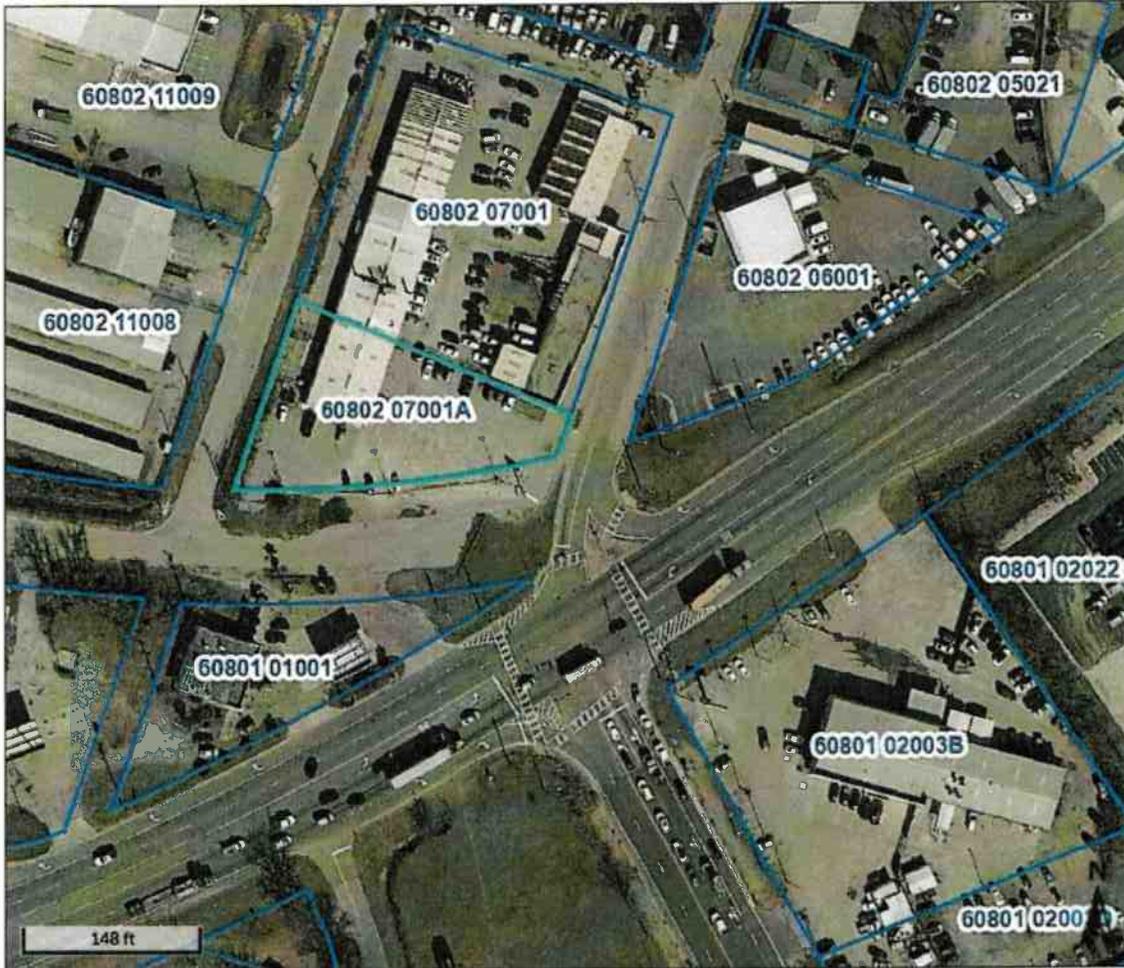
The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location



Chatham County, GA



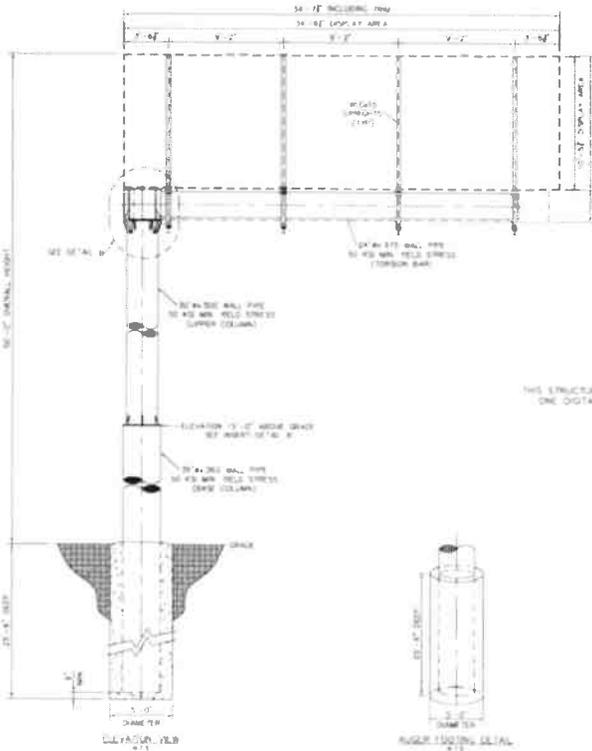
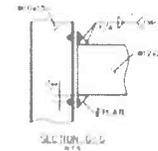
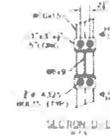
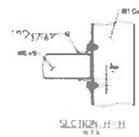
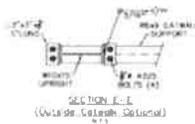
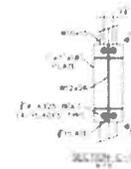
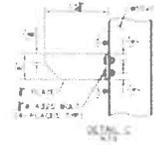
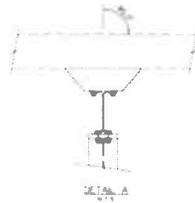
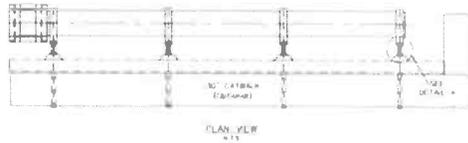
Legend

- Parcels
- Water

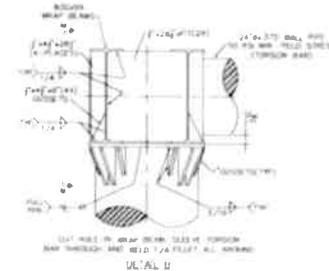
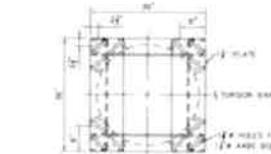
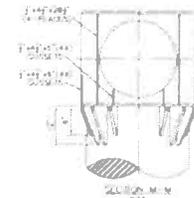
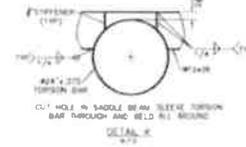
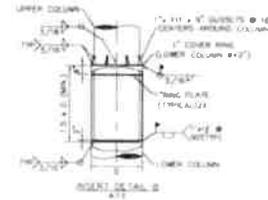
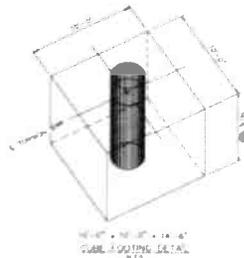
Parcel ID	60802 07001A	Alternate ID	3024535	Owner Address	ROBERTS MANAGEMENT INC
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		P O BOX 60817
Property Address	HEIDT AVE	Acreage	0.576		SAVANNAH, GA 31420
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	PARCEL C BEING KNOWN AS TRACT 1 OF A RECOMBINATION OF LOTS 118 THRU 128 CENTRAL JUNCTION HGTS				
	PRB 14P 48.576 ac				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 2/7/2023
 Last Data Uploaded: 2/7/2023 9:26:37 AM

NOTE: 2" LIPPER & LOWER FLOOR
CATERAILS NOT SHOWN FOR CLARITY.



THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING
ONE DIGITAL UNIT WEIGHING APPROXIMATELY 4,725#



GENERAL NOTES

- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - The International Building Code (2018 Edition w/Change Amendments)
 - American Society of Testing and Materials (ASTM) specifications
 - Building Code Requirements for Reinforced Concrete (ACI 318 - (Current Edition))
 - Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
 - Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by The American Institute of Steel Construction (AISC) (Current Edition)
- Concrete shall be $f_c=2500$ P.S.I. @ 28 days Compressive Strength, Standard Weight (150 P.C.F.)
- Reinforcing Steel (if required) shall be ASTM A-615 Grade 60
 - All reinforcing steel shall be free from rust, oil, mud or coatings that would reduce or destroy bond.
 - All reinforcing bars shall be 30 diameters minimum, except in slab. Minimum concrete cover on flat slabs and main bars shall be 3/4 inch for slab, and surfaces not exposed to weather in contact with ground 3 inches for unformed surfaces exposed against the ground except in noted.
- Structural Material Specifications
 - Structural Steel and Plates shall be A-36
 - Shape Steels shall be (F_y=50 ksi) minimum
 - Structural tubing shall be ASTM A-500, Grade B, (F_y=45 ksi)
 - Structural piping shall be ASTM A-53, Grade B, Type E or S, (F_y=35 ksi), ASTM A572 Grade 42 (F_y=42 ksi) or ASTM A572 Grade 50 (F_y=50 ksi), unless otherwise noted. (see drawing for individual member specifications)
- Anchors shall (if required) shall be ASTM F-1554 Grade 36, unless otherwise noted
- High strength bolts for connections shall be ASTM A-325, unless otherwise noted
- Welding electrodes shall comply with AWS D11.1 (Current Edition) E70T8
- Design Wind Speed= 135 MPH (D B C)
Equivalent Wind Load= 48.4 PSF @ 50' O.C. above the ground (3 Sec. Wind Gusts)
Exposure C, $z=1.0$, $S=1.03$
- Soil Bearing Capacity Requirements:
 - Spread Footings shall be 1000 P.S.F.
 - Cube or Edge Footing Minimum (Allow Soil Bearing Capacity shall be 1700 \times 2) = 300 P.S.F. on level of earth. (20 tons per sq. ft. for 4000 lbs. & less on slopes per ACI 318)
- Contractor shall verify all dimensions and conditions in the field, before erection and notify the Engineer of any discrepancies
- Splicing of pipes having an equal diameter, and shall not be permitted for penetrator used in ground (per AWS D11.1) shall be used and must be performed by a certified welder. Splices shall not be within one half of the foundation depth below grade, within 12" above grade if within three intersecting planes, unless noted otherwise
- The structure shown on drawings is capable of supporting one (1) digital unit weighing up to approximately 4,725#

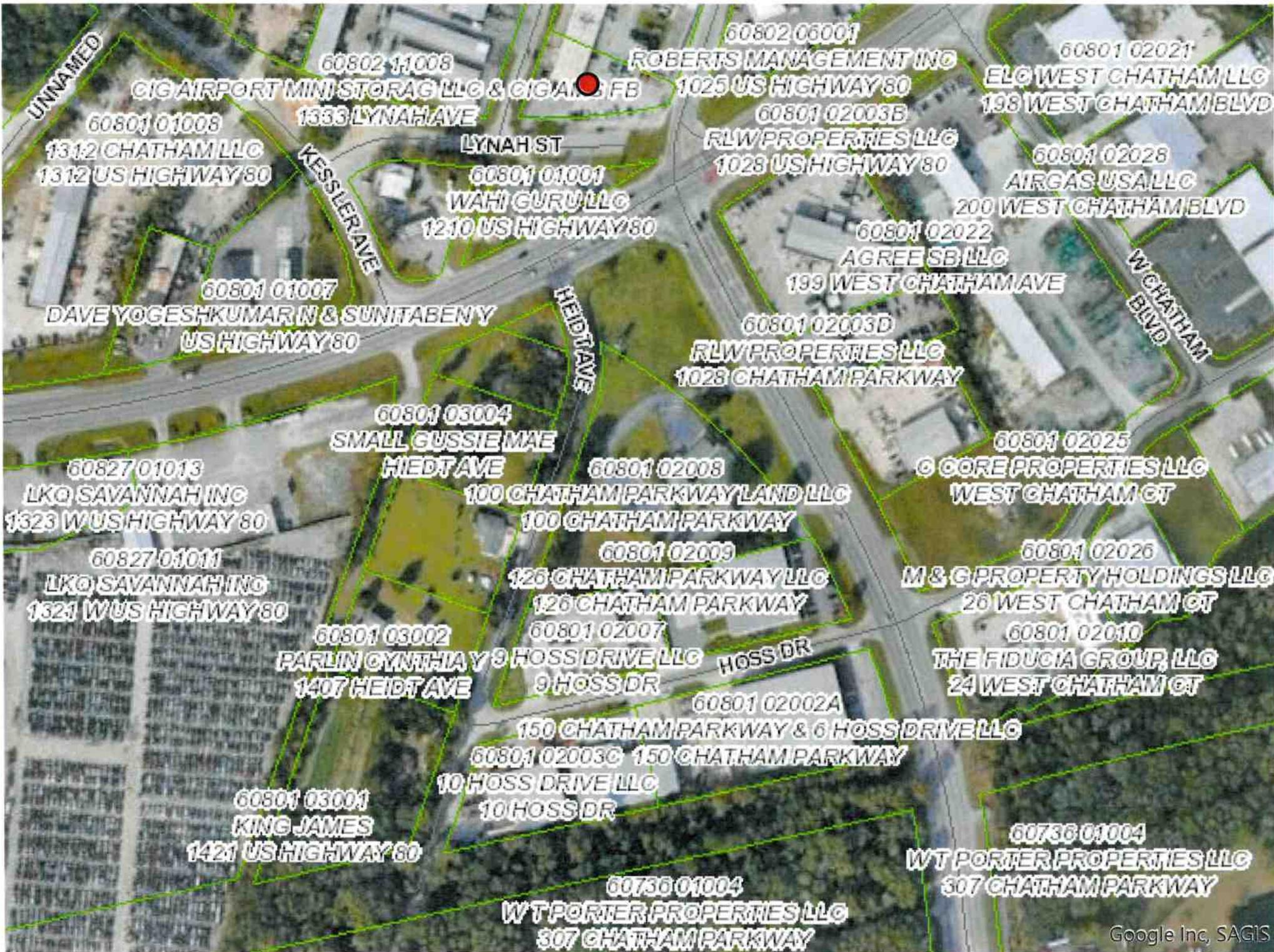
This drawing is for permitting purposes only. Unintentional errors are prohibited.

Selective Structures, LLC
811 East Avenue
Athens, TN 37803

PROPOSED:
10'-6" x 36'-0" FF, SF @ 50'-0" O.A.H.
w/One (1) 4,725# Digital Unit
Location: 1025 US-80
Garden City, GA

GINN SERVICES GINN ENGINEERING SERVICES, LLC
2971 PLATBOCK RD
WATKINSVILLE, GA 30677
678 232 0872

PROFESSIONAL SEAL: GEORGIA REGISTERED PROFESSIONAL ENGINEER, JOHNSTON GINN, No. PL045301, DATE 12/13/22, DRAWN BY, SELECTIVE, SCALE, 1"=1'-0", PROJ. #, 1025 US-80, SHEET # 1 OF 1



UNNAMED

60802 11008

CIG AIRPORT MINI STORAGE LLC & CIG AIR FB

1333 LYNNAH AVE

LYNAH ST

60801 01008
1312 CHATHAM LLC
1312 US HIGHWAY 80

60801 01001
WAHI GURU LLC
1210 US HIGHWAY 80

60802 06001
ROBERTS MANAGEMENT INC
1025 US HIGHWAY 80
60801 02003B
RLW PROPERTIES LLC
1028 US HIGHWAY 80

60801 02021
ELC WEST CHATHAM LLC
198 WEST CHATHAM BLVD

60801 02028
AIRGAS USA LLC
200 WEST CHATHAM BLVD

60801 02022
AGREE SB LLC
199 WEST CHATHAM AVE

60801 01007
DAVE YOGESHKUMAR N & SUNITABEN Y
US HIGHWAY 80

60801 02003D
RLW PROPERTIES LLC
1028 CHATHAM PARKWAY

60801 03004
SMALL GUSSIE MAE
HEIDT AVE

60827 01013
LKO SAVANNAH INC
1323 W US HIGHWAY 80

60801 02008
100 CHATHAM PARKWAY LAND LLC
100 CHATHAM PARKWAY

60801 02025
CORE PROPERTIES LLC
WEST CHATHAM CT

60827 01011
LKO SAVANNAH INC
1321 W US HIGHWAY 80

60801 02009
126 CHATHAM PARKWAY LLC
126 CHATHAM PARKWAY

60801 02026
M & G PROPERTY HOLDINGS LLC
26 WEST CHATHAM CT

60801 03002
PARLIN CYNTHIA Y 9 HOSS DRIVE LLC
1407 HEIDT AVE
9 HOSS DR

60801 02007
9 HOSS DR

HOSS DR

60801 02010
THE FIDUCIA GROUP, LLC
24 WEST CHATHAM CT

60801 03001
KING JAMES
1421 US HIGHWAY 80

60801 02002A
150 CHATHAM PARKWAY & 6 HOSS DRIVE LLC
60801 02003C 150 CHATHAM PARKWAY

10 HOSS DRIVE LLC
10 HOSS DR

60736 01004
WT PORTER PROPERTIES LLC
307 CHATHAM PARKWAY

60736 01004
WT PORTER PROPERTIES LLC
307 CHATHAM PARKWAY

City of Garden General Development Plan Application



CITY OF GARDEN

Development Information

Development Name
 William L. Granger

Property Address
 J-16 @ Salt Creek Rd.

Phased development? Yes No **If yes, indicate proposed number of phases:**

Parcel ID	Total Site Acreage	Zoning
60960 1001	230 (A-1)	C-5

Project Description

Water Supply Public Private **N/A** **Sewage Disposal** Public Private **N/A**

Applicant Information

Owner

Name William Granger	Address P.O. Box 7267 Garden City, GA 31418
Phone 843-834-8356 Agent #	Email Jed@renfreoutdoor.com

Engineer/Surveyor Same as authorized agent Check here to receive staff review comments via email

Company Name TES	Contact (Individual Name) Carl Thompson
Phone 423-781-7336	Email Carl@teservers.com

Authorized Agent (Requires Authorized Agent Form) Check here to receive staff review comments via email

Company Name Renfre Outdoor, LLC	Contact (Individual Name) Mr. Jodie Dadds Blvd JED Renfre Suite 300 Mt Pleasant SC 29464
Phone 843-824-8356	Email JED@renfreoutdoor.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Print Name: Jed Renfre Signature: [Signature] Date: 1/10/2023

OFFICE USE ONLY			
Received By	Date Received	Case Number	
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number	



GARDEN CITY
PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2312 – Billboard – 0 Salt Creek

<i>Application Type</i>	<i>Sign Permit/Site Plan</i>
<i>Case Number</i>	PC 2312
<i>Applicant</i>	William Grainger
<i>Name of Project</i>	Billboard
<i>Property Address</i>	Interstate 16, via 0 Salt Creek Road
<i>Parcel IDs</i>	60960 01001
<i>Area of Property</i>	50.01 acres
<i>Current Zoning</i>	P-I-1
<i>Proposed Land Use</i>	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a double-sided billboard, visible from Interstate 16. Each sign face (display area) measures 12' x 42' per sign face. The area indicated on the Georgia Department of Transportation (GDOT) permit was not updated when the length of the sign was changed by hand.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

FINDINGS

The applicant has received an approved permit from the Georgia Department of Transportation. The proposed size exceeds the maximum sign area of 480 square feet by 24 square feet.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit not to exceed 480 square feet per face.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's



standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



The City of Garden City, Georgia
 100 Central Avenue, Garden City, Georgia 31405
 Phone: 912.966.7777 Fax: 912.963.2735

#2

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign: On Outdoor Advertising / Separate Use Sign
 Property Address: Salt Creek Road
 Property Owner: William L. Grainger
 Proposed use of Building: _____
 Materials to be used: steel, concrete
 Height of Sign: 50'
 Square Footage of Proposed Sign: 480
 Pin Listing: 60960 01001
 Zoning Classification: C5

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Ben Jones / JED RENTROE
 Name (Print)

Rentroe Outdoor Advertising
 Company Name

Po Box 2227 Brunswick, Ga. 31521
 Address

843-834-8356
 Phone Number

Jed@rentroecoutdoor.com

[Signature]
 Signature

OFFICE USE ONLY

Plan Submitted: _____

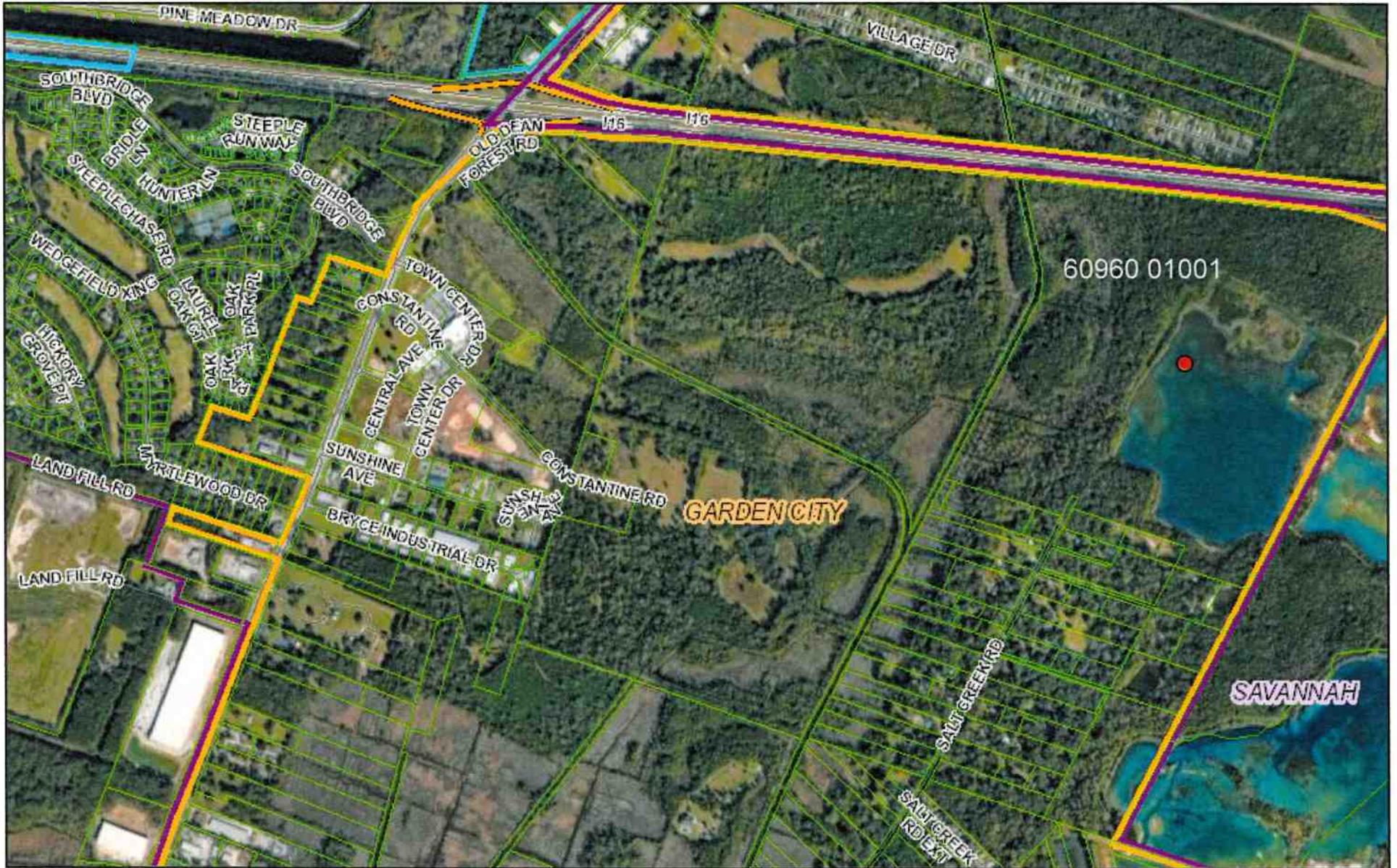
Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building etc.

 Building Inspector

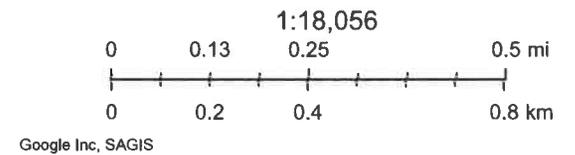
William L Grainger - Timber Harvest - Exhibit "A"





3/8/2023, 11:24:13 AM

- | | | | | |
|--------------------|----------------|--------------|----------------|-------------|
| Municipal Boundary | POOLER | THUNDERBOLT | UNINCORPORATED | Parkways |
| BLOOMINGDALE | PORT WENTWORTH | TYBEE ISLAND | Local Roads | Interstate |
| GARDEN CITY | SAVANNAH | VERNONBURG | Major Roads | Local Roads |



City of Garden General Development Plan Application



Development Information

Development Name		
Beacon Outdoor Billboard		
Property Address		
2606 US Hwy 80		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60926 03031	.48	C-2
Project Description		
Erect AN LED Billboard on Property		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		<input type="checkbox"/> Public <input type="checkbox"/> Private N/A

Applicant Information

Owner	
Name	Address
Robert M Chu	2606 US Hwy 80
Phone	Email
912-665-2803	chuconstruction@comcast.net
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Beacon Outdoor Advertising	Lou Ferrando
Phone	Email
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando
Print Name


Signature

2/9/23
Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2313 – Billboard – 2606 U.S. Highway 80

Application Type	Sign Permit/Site Plan
Case Number	PC 2313
Applicant	Beacon Outdoor Billboards
Name of Project	Billboard
Property Address	2606 U.S. Highway 80
Parcel IDs	60926 03031
Area of Property	0.49 acres
Current Zoning	C-2A
Proposed Land Use	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	<u>Billboard</u>
Property Address:	<u>2606 US Highway 80</u>
Property Owner:	<u>Robert M Chu</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60926 03031</u>
Zoning Classification:	<u>C-2A GENERAL COMMERCIAL 1</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando
Name (Print)

PO Box 1981 Athens, GA 30606
Address

Beacon Outdoor Advertising
Company Name

706-540-4212
Phone Number


Signature

OFFICE USE ONLY

Plan Submitted: _____

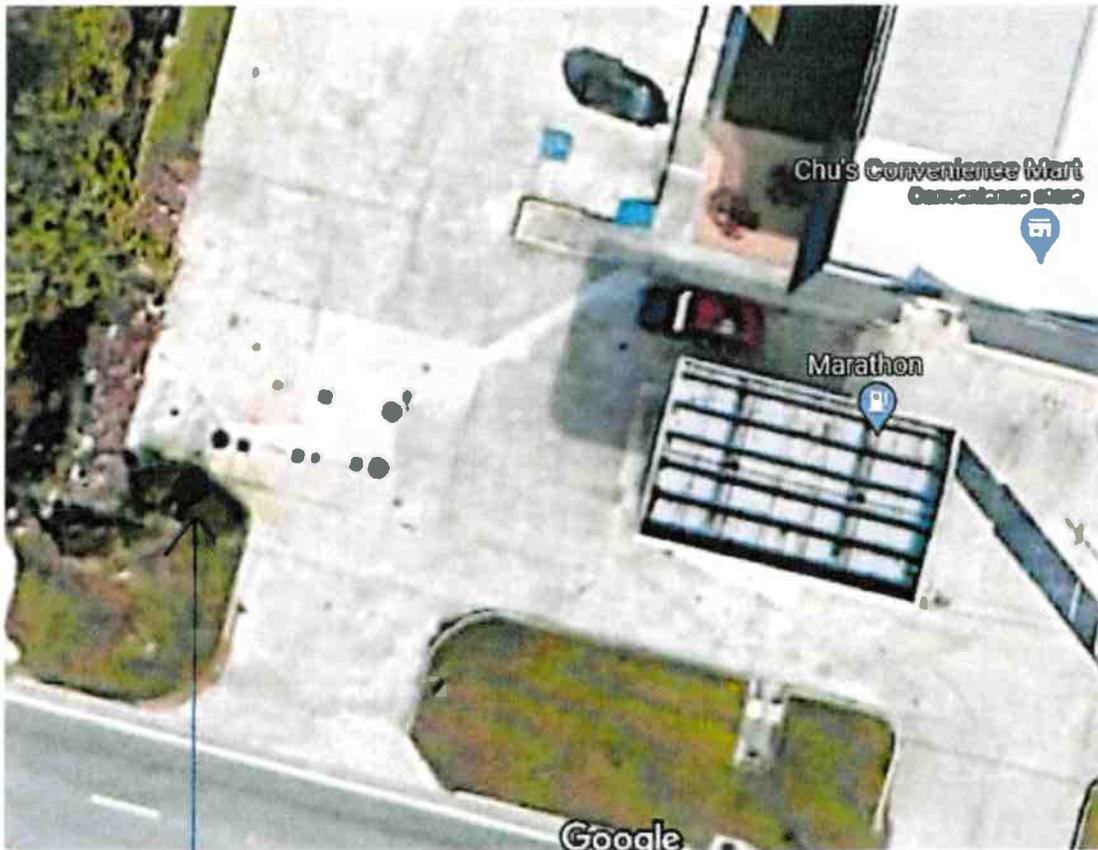
Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

Building Inspector / Code Enforcement Officer



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location



Chatham County, GA



Overview

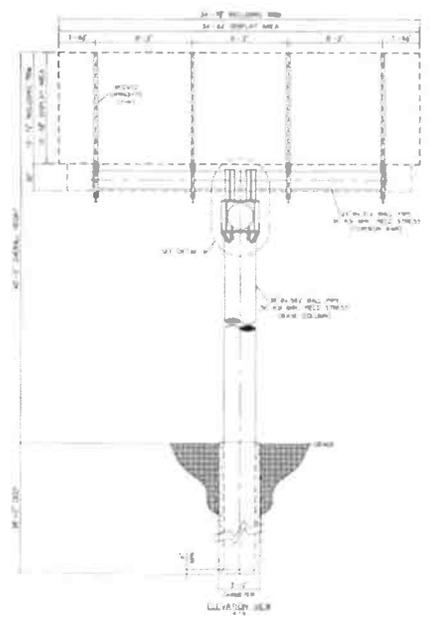
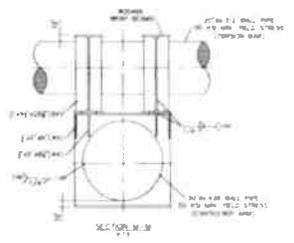
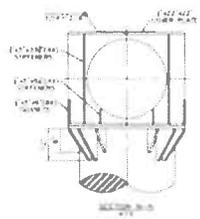
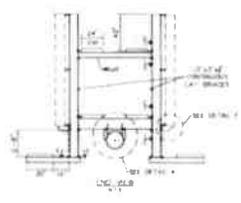
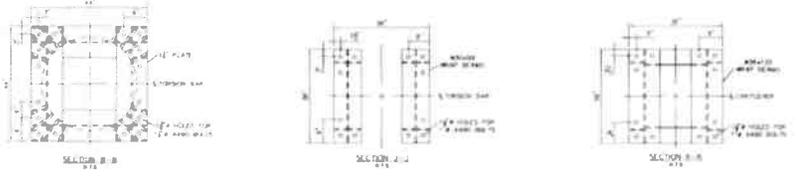
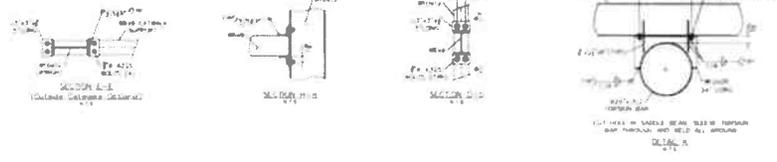
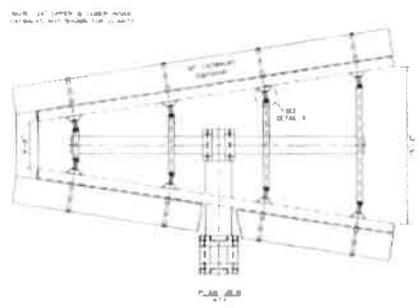


Legend

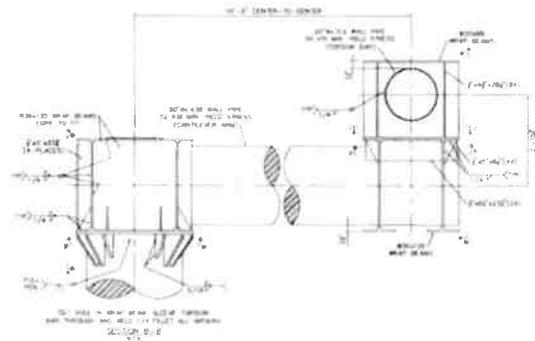
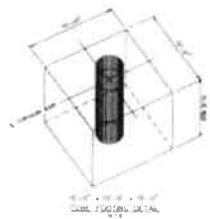
-  Parcels
-  Water

Parcel ID	60926 03031	Alternate ID	2929231	Owner Address	CHU ROBERT M
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		7726 JOHNNY MERCER BLVD
Property Address	2606 US HIGHWAY 80	Acreage	0.48		SAVANNAH, GA 31410
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	LOT 2 RECOMBINATION OF LOTS A B & D BLK A WOODLAWN TERRACE				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 1/22/2023
 Last Data Uploaded: 1/21/2023 11:38:27 AM



THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING UP TO TWO (2) DIGITAL UNITS WEIGHING APPROXIMATELY 4,725# EACH.



GENERAL NOTES

- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - The International Building Code (2018 Edition)
 - ACI Design Handbook
 - American Society of Testing and Materials (ASTM) specifications
 - Building Code Requirements for Reinforced Concrete (ACI 318 - Current Edition)
 - Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
 - Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by The American Institute of Steel Construction (AISC) (Current Edition)
- Concrete shall be: $f_c = 2500$ P.S.I. @ 28 days Compressive Strength, Standard Weight (150 P.C.F.)
- Reinforcing Steel (if required) shall be ASTM A-615 Grade 60
 - All reinforcing steel shall be free from rust, oil, dirt or coatings that would reduce or destroy bond.
 - All reinforcing bars shall be 3/8 diameter minimum, except as noted.
 - Minimum concrete cover on bars, slabs and man bars shall be 3/4 inch for cast, wet and surfaces of exposed to weather in contact with ground. 1 inch for uncast surfaces exposed against the ground except as noted.
- Structural Material Specifications
 - Structural Steel and Plates shall be A-36
 - Structural Tees shall be 15 x 30 x 3/4
 - Structural tubing shall be ASTM A-305 Grade B (2 x 4 x 3/4)
 - Structural piping shall be ASTM A-53, Grade B, Type 1, or 1/2 (1 x 20 ksi), ASTM A532 Grade 42 (1 x 42 ksi) or ASTM A532 Grade 50 (1 x 50 ksi), unless otherwise noted. (See drawing for individual member specifications)
- Anchor bolts (if required) shall be ASTM A-307 Class B, sizes shown noted.
- High strength bolts for connection shall be ASTM A-325, unless otherwise noted.
- Welding electrodes shall comply with AWS D11.1 (Current Edition) E7018.
- Design Wind Speeds: 120 MPH (1 P.S.F.) Equivalent Wind Load: 47.0 PSF @ 50' A.D. above the ground. (3 Sec. Wind Gusts) Exposure "C", Risk = 1, S = 1.25
- Soil Bearing Capacity Requirements:
 - Spread Footings shall be 1.5 P.S.F.
 - Capacity of Auger Footing: Maximum Allowable Soil Bearing Capacity shall be 150 P.S.F. @ 2'-00" P.S.F. per foot of depth. (3) error on EC 208 Section 208.2.1a or refer to table 208.14.
- Contractor shall verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies.
- Splicing of pipe hangers on equal diameter, end and end is permitted. A lap penetration end of ground (per AWS D11.1) shall be used and made at the foundation depth below grade, other 18" down grade or other 18" above foundation above. Unless noted otherwise.
- The structure shown on drawings is capable of supporting one (1) sign and weighing up to approximately 4,725#.

This drawing is for permitting purposes only. Unauthorized use is prohibited.

Selective Structures, LLC

811 East Avenue
Athens, TN 37603

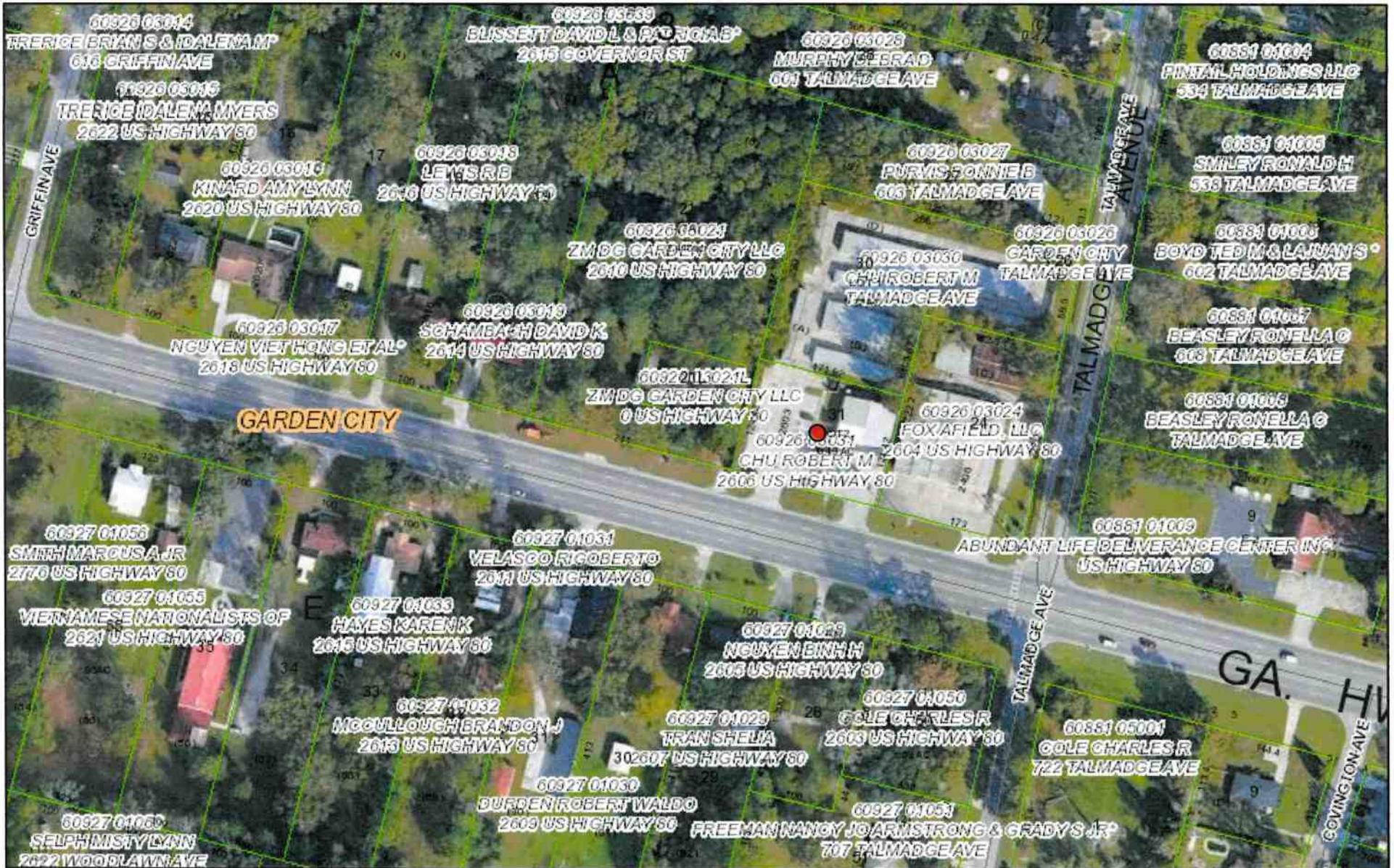
DESCRIPTION:
10'-6" x 36'-0" CM, 15'V, Full Cant.,
@ 40'-0" O.A.H.
w/Up to Two (2) 4,725# Digital Units
Location: 2606 US-80
Garden City, GA



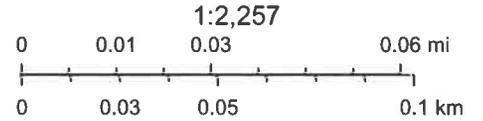
GINN ENGINEERING SERVICES, LLC
1071 FLATROCK RD
WATSONSVILLE, GA 30577
678.232.0872



DATE:	01/20/24
STATE:	GEORGIA
PROJECT:	2606 US-80
SCALE:	AS SHOWN
DRW. #:	260608
DATE:	01/20/24
PROJECT:	2606 US-80



- | | | | | |
|--------------------|----------------|--------------|----------------|-------------|
| Municipal Boundary | POOLER | THUNDERBOLT | UNINCORPORATED | Parkways |
| BLOOMINGDALE | PORT WENTWORTH | TYBEE ISLAND | Local Roads | Interstate |
| GARDEN CITY | SAVANNAH | VERNONBURG | Major Roads | Local Roads |



Google Inc, SAGIS

City of Garden General Development Plan Application



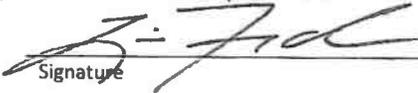
Development Information

Development Name		
Beacon Outdoor Billboard		
Property Address		
211 US Hwy 80		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Parcel ID	Total Site Acreage	Zoning
60020 06002B	.8022	C-2A
Project Description		
Erect a LED billboard on the property		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		<input type="checkbox"/> Public <input type="checkbox"/> Private N/A

Applicant Information

Owner	
Name	Address
Janic Stephens/RJKA Quick Lock LLC	211 US Hwy 80
Phone	Email
912-596-1998	jsquickrx@aol.com
Engineer/Surveyor <input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Beacon Outdoor Advertising	Lou Ferrando
Phone	Email
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando
 Print Name  2/9/23
 Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format <input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both	Fee Amount Paid	Invoice Number



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2314 – Billboard – 211 U.S. Highway 80

<i>Application Type</i>	<i>Sign Permit/Site Plan</i>
Case Number	PC 2314
Applicant	Beacon Outdoor Billboards
Name of Project	Billboard
Property Address	211 U.S. Highway 80
Parcel IDs	60020 06002B
Area of Property	0.88 acres
Current Zoning	C-2A
Proposed Land Use	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	<u>Billboard</u>
Property Address:	<u>211 US HIGHWAY 80</u>
Property Owner:	<u>RJKA QUICK LOCK LLC</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60020 06002B</u>
Zoning Classification:	<u>C3 - Commercial Lots</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando
Name (Print)

Beacon Outdoor Advertising
Company Name

PO Box 1981 Athens, GA 30606
Address

706-540-4212
Phone Number


Signature

OFFICE USE ONLY

Plan Submitted: _____

Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

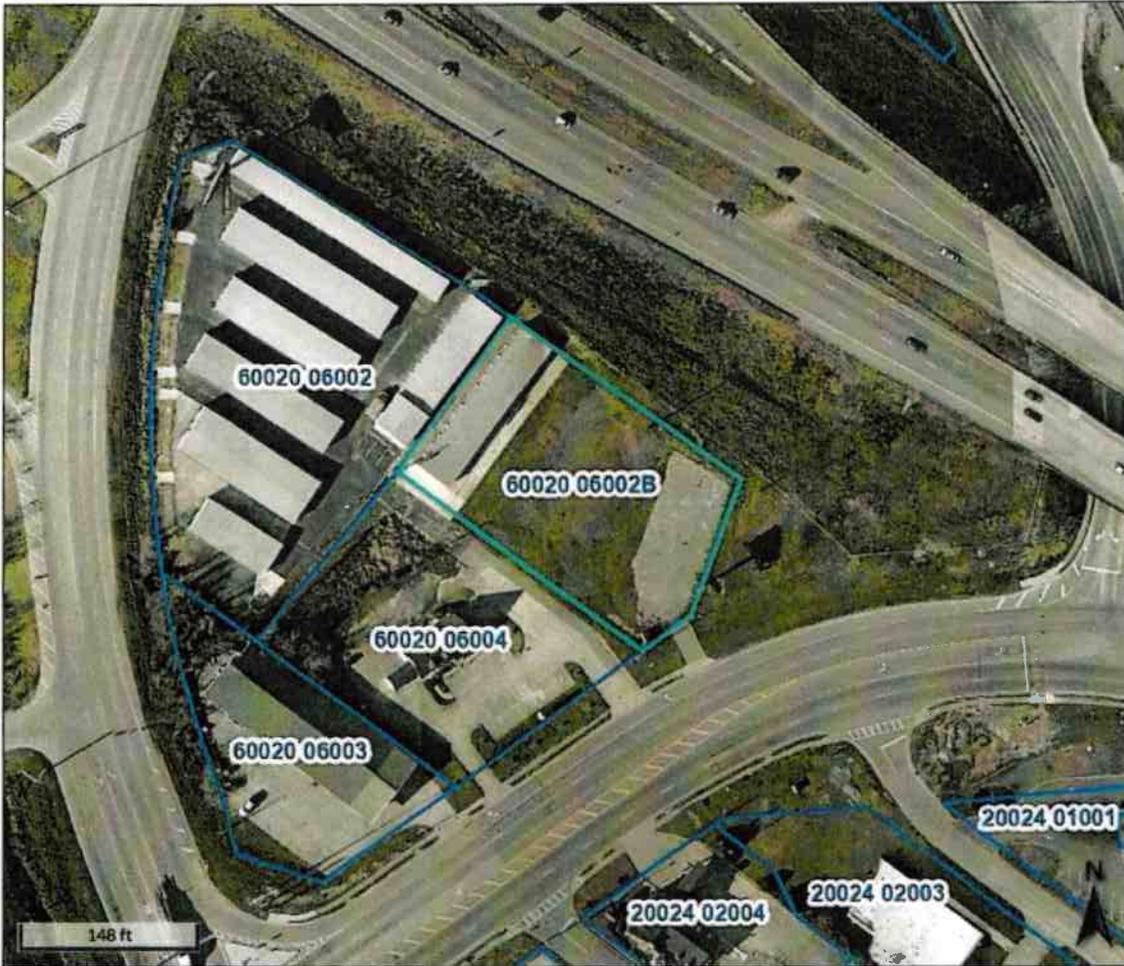
Building Inspector / Code Enforcement Officer



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location



Overview



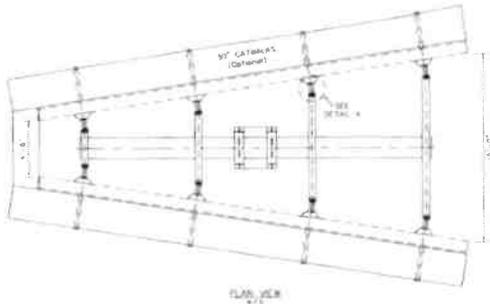
Legend

- Parcels
- Water

Parcel ID	60020 06002B	Alternate ID	2998045	Owner Address	RJKA QUICK LOCK LLC
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		45 COVE DR
Property Address	211 US HIGHWAY 80	Acreage	0.8		SAVANNAH, GA 31419
	GARDEN CITY				
District	(061) GARDEN CITY W/TRANSIT				
Brief Tax Description	PORTIONS OF LAUREL CROFT SUB PT OF ABRAHAMS STREET & HOULIHAN STREE				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 1/22/2023
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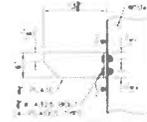
NOTE: 24" UPPER & LOWER RIBS
CATALAN'S NOT SHOWN FOR CLARITY



ELEVATION



DETAIL A



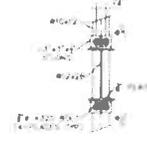
DETAIL C



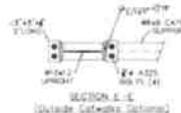
SECTION A-A



SECTION B-B



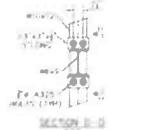
SECTION C-C



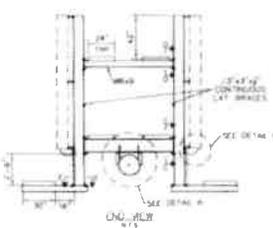
SECTION D-D
(Outside Catwalk Options)



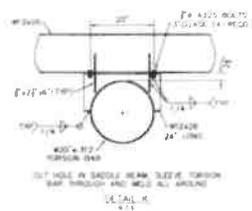
SECTION E-E



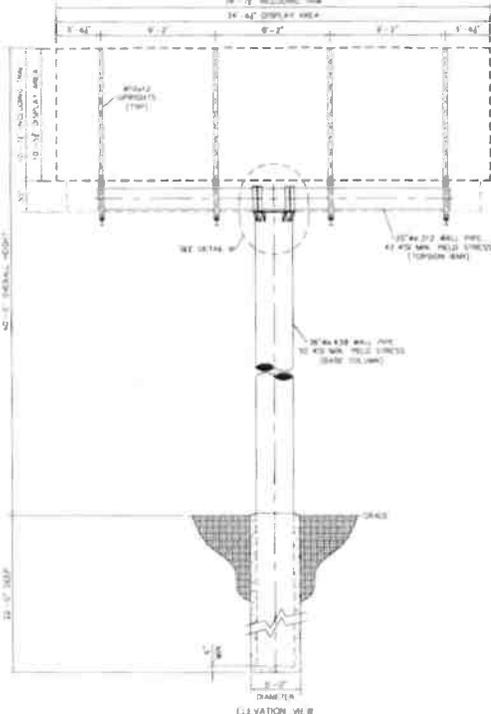
SECTION F-F



DETAIL F



DETAIL K

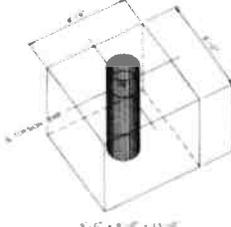


ELEVATION

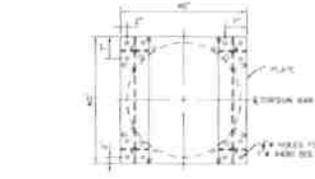
THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING UP TO
TWO (2) DIGITAL UNITS WEIGHING APPROXIMATELY 4,725# EACH



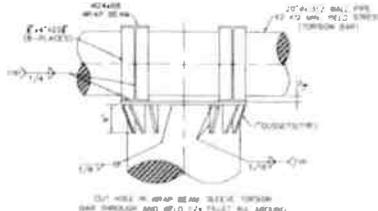
AUGER FOOTING DETAIL



CUBE FOOTING DETAIL



DETAIL G



DETAIL H

- GENERAL NOTES**
- All design, detailing, fabricating and construction shall conform to the following codes and specifications:
 - The International Building Code (2018 Edition w/General Amendments)
 - American Society of Testing and Materials (ASTM) specifications
 - Building Code Requirements for Reinforced Concrete (ACI 318) (Current Edition)
 - Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
 - Specification for Hot Dipped Galvanizing and Coatings of Structural Steel for Buildings for the American Institute of Steel Construction (AISC) (Current Edition)
 - Concrete shall be 4000 P.S.I. @ 28 days Compressive Strength (3500 P.C.F.)
 - Reinforcing Steel (if required) shall be A570 A-615 Grade 60. All reinforcing steel shall be free from rust, oil, dirt or coatings that would reduce or delay bond.
 - All reinforcing bars shall be 3/8 diameter minimum, except as noted.
 - Minimum lap splice on ties, slabs and main bars shall be 12d with lap ends and surfaces not exposed to weather or in uncracked sub grade, 3 inches for alternate surfaces separated against the ground except as noted.
 - Structural Material Specifications:
 - Structural Steel and Plates shall be A-36.
 - W-Shape Beams shall be (F_y=50 ksi) Minimum.
 - Structural tubing shall be A570 A-302 Grade B (F_y=48 ksi).
 - Structural piping shall be ASTM A-53, Grade B, Type F, or S, (F_y=35 ksi), ASTM A572 Grade 42 (F_y=42 ksi) or ASTM A572 Grade 50 (F_y=50 ksi), unless otherwise noted. (See drawing for individual member specifications)
 - Anchor bolts (if required) shall be A307-150 Grade B, unless otherwise noted.
 - High strength bolts to concrete shall be A50 A-325, unless otherwise noted.
 - Welding electrodes shall comply with AWS D11 (Current Edition), E70xx.
 - Design Wind Speed= 120 mph (150 k) Equivalent Wind Load= 42.00 PSF @ 40'-0", above the ground. (1 See: Wind Curve 1) Exposure "C" U=1.0 S=1.0
 - Soil Bearing Capacity Requirements:
 - Spread Footings shall be 2.000 P.S.F.
 - Cube or Auger Footing Minimum Net Soil Bearing Capacity shall be 150 T.S.F. @ 2'-0" P.S.F. per foot of depth. 60 tons per 16 2/3 cubic feet @ 16' in. or more in later 88.10
 - Contractor shall verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies.
 - Spacing of open framing at equal diameter end and yield is permitted. A 1/4" penetration end of strand (per AAS D-1) shall be used and must be performed by a certified welder. Girths shall not be within one half of the foundation depth below grade, within 10' above grade or within 10' above telescoping splices. Unless noted otherwise.
 - The structure shown as designed is capable of supporting up to two (2) digital units weighing up to approximately 4,725# each.

This drawing is for permitting purposes only. unpermitted use is prohibited.

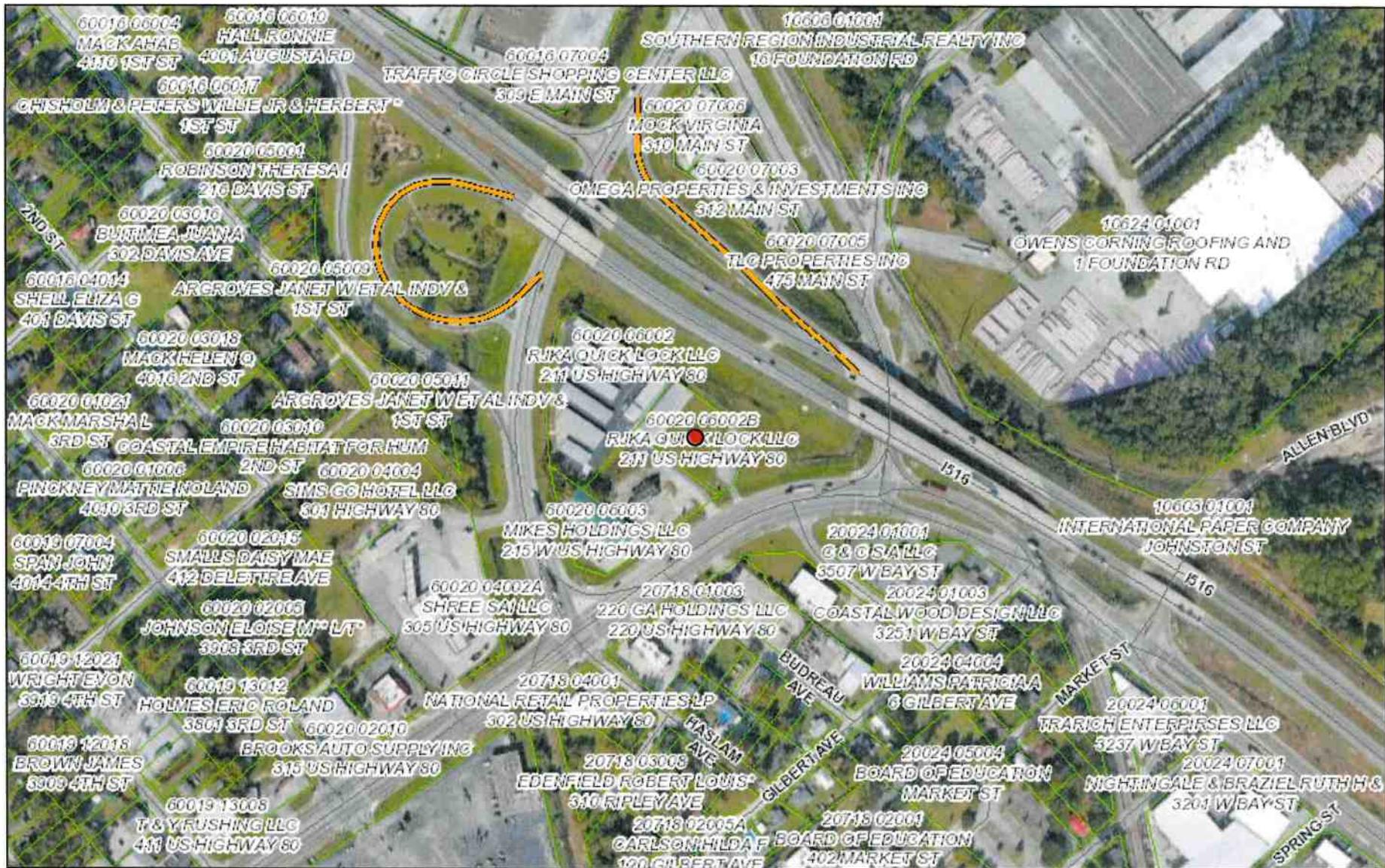
Selective Structures, LLC
 811 East Avenue
 Athens, TN 37101

10'-6" x 36'-0" CM, 15'V @ 40'-0" O.A.H.
 w/Up to Two (2) 4,725# Digital Units
 Location: 211 US-80
 Savannah, GA

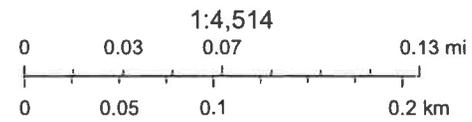
GINN SERVICES GINN ENGINEERING SERVICES, LLC
 1971 FLATROCK RD
 WATERSVILLE, GA 30577
 678 231 0872

REGISTERED PROFESSIONAL ENGINEER
 No. PE05301
 WALTER L. JOHNSON

DATE	BY
12/15/22	WJ
SCALE	AS SHOWN
PROJ #	888888
DWG #	AG-013
SHEET #	1 OF 1



- Local Roads
- Major Roads
- Parkways
- Interstate
- Local Roads
- Major Roads
- Parkways
- Owner, PIN and Address Labels



Google Inc, SAGIS

City of Garden General Development Plan Application



Development Information

Development Name		
Beacon Outdoor Billboard		
Property Address		
4904 Augusta Rd		
Phased development?		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If yes, indicate proposed number of phases:
Parcel ID	Total Site Acreage	Zoning
60009 02004	.6405	C-2
Project Description		
Erect a LED billboard on the property		
Water Supply		Sewage Disposal
<input type="checkbox"/> Public <input type="checkbox"/> Private N/A		<input type="checkbox"/> Public <input type="checkbox"/> Private N/A

Applicant Information

Owner	
Name	Address
Thomas C Welch	4904 Augusta Rd
Phone	Email
912-964-9222	threeguysautomotive@gmail.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Phone	Email
Authorized Agent (Requires Authorized Agent Form)	
<input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Beacon Outdoor Advertising	Lou Ferrando
Phone	Email
706-540-4212	Lou@Beaconoutdooradv.com

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Lou Ferrando _____ 2/9/23
 Print Name Signature Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format	Fee Amount Paid	Invoice Number
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both		



GARDEN CITY
PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2315 – Billboard – 4904 Augusta Road

<i>Application Type</i>	<i>Sign Permit/Site Plan</i>
<i>Case Number</i>	PC 2314
<i>Applicant</i>	Beacon Outdoor Billboards
<i>Name of Project</i>	Billboard
<i>Property Address</i>	4904 Augusta Road
<i>Parcel IDs</i>	60009 02004
<i>Area of Property</i>	0.64 acres
<i>Current Zoning</i>	C-2
<i>Proposed Land Use</i>	Outdoor Advertising (Billboard)/Separate Use Sign

GENERAL INFORMATION

Project Description: The applicant has applied for a permit to install a double-sided LED billboard, adjacent to U.S. Highway 80. Each sign face (display area) is 378 square feet and measures 10.5' x 36' per sign face. The proposed height is 40 feet.

Pursuant to Section 90-158, the Planning Commission is authorized to determine code compliance for outdoor advertising and separate use signs.

FINDINGS

Based on the information provided, the proposed sign meets the requirements of Section 90-174.

RECOMMENDATION

Approval of the Outdoor Advertising/Separate Use sign permit pending approval by the Georgia Department of Transportation.

Note: Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note a building permit must be issued before vertical construction shall commence.



The City of Garden City, Georgia
 100 Central Avenue, Garden City, Georgia 31405
 Phone: 912.966.7777 Fax: 912.963.2735

SIGN PERMIT APPLICATION

The undersigned, herein named, requests permission to erect a sign:

Type of Sign:	<u>Billboard</u>
Property Address:	<u>4904 Augusta Rd Garden City, GA</u>
Property Owner:	<u>Thomas C. Welch</u>
Proposed use of Building:	<u>Advertising</u>
Materials to be used:	<u>Steel</u>
Height of Sign:	<u>40'</u>
Square Footage of Proposed Sign:	<u>382 sq ft</u>
Pin Listing:	<u>60009 02004</u>
Zoning Classification:	<u>C3 - Commercial Lots</u>

I am familiar with and understand the sign ordinance regarding the character of construction, electrical work, etc., and agree to abide by all of same.

In consideration of the granting of the above requested permit I/we do hereby agree that I/we, in all respects, construct the work in accordance with the above statement and the Plans and Specifications herewith submitted, and filed in the Inspections Department, and in compliance with all the laws and Ordinances of the City of Garden City, Georgia.

Lou Ferrando
 Name (Print)

PO Box 6183 Athens, GA 30606
 Address

Beacon Outdoor Advertising
 Company Name

706-540-4212
 Phone Number


 Signature

OFFICE USE ONLY

Plan Submitted: _____

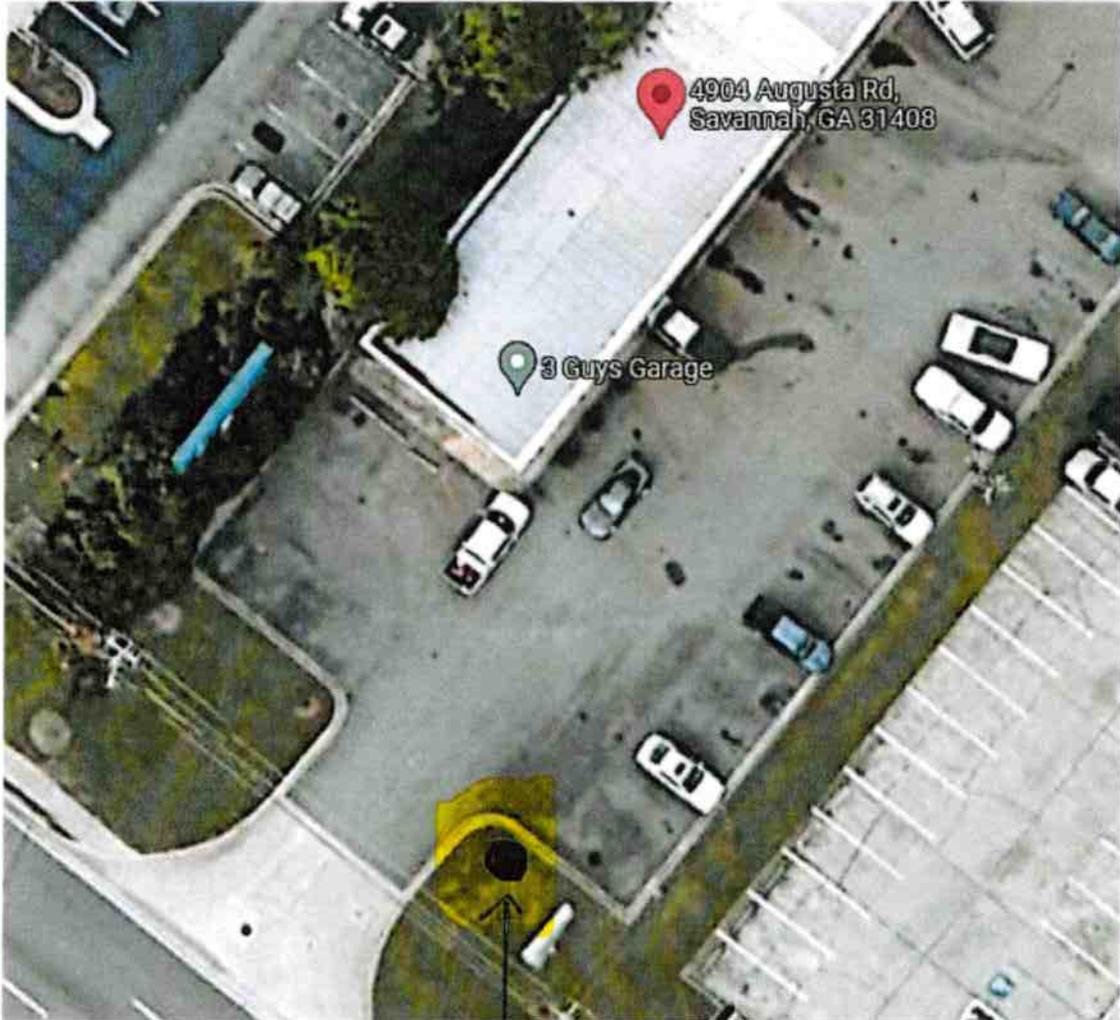
Permit Fee: \$ _____

The Sign Permit is approved subject to all Ordinances of the City of Garden City referring to building construction, electrical work, etc.

 Building Inspector / Code Enforcement Officer



The City of Garden City, Georgia
100 Central Avenue, Garden City, Georgia 31405
Phone: 912.966.7777 Fax: 912.963.2735



Sign Location



Chatham County, GA



Overview



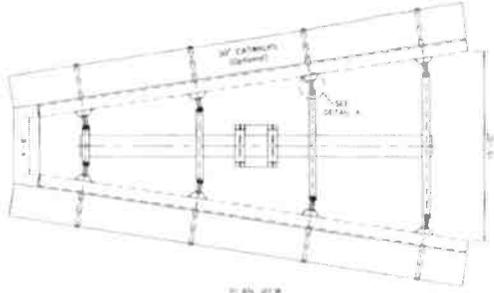
Legend

- Parcels
- Water

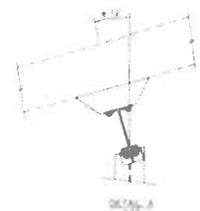
Parcel ID	60009 02004	Alternate ID	2953297	Owner Address	WELCH THOMAS C IV
Sec/Twp/Rng	0--	Class	C3 - Commercial Lots		4904 AUGUSTA RD
Property Address	4904 AUGUSTA RD	Acreage	0.63		GARDEN CITY, GA 31408
	GARDEN CITY				
District	(060) GARDEN CITY				
Brief Tax Description	TCT 56 SUB OF 61 THRU 75 IND CITY GARDENS easement PRB 39P 78				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 1/21/2023
 Last Data Uploaded: 1/21/2023 11:38:27 AM

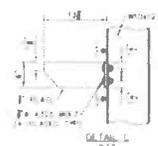
NOTE: 2" UPPER & LOWER RAILS
CANTAILS NOT SHOWN FOR CLARITY



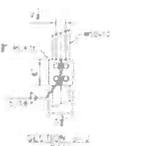
ELEVATION VIEW
W11



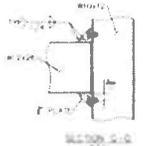
DETAIL A
W11



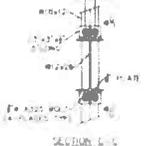
DETAIL B
W11



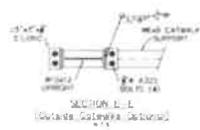
SECTION C
W11



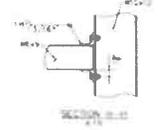
SECTION D
W11



SECTION E
W11



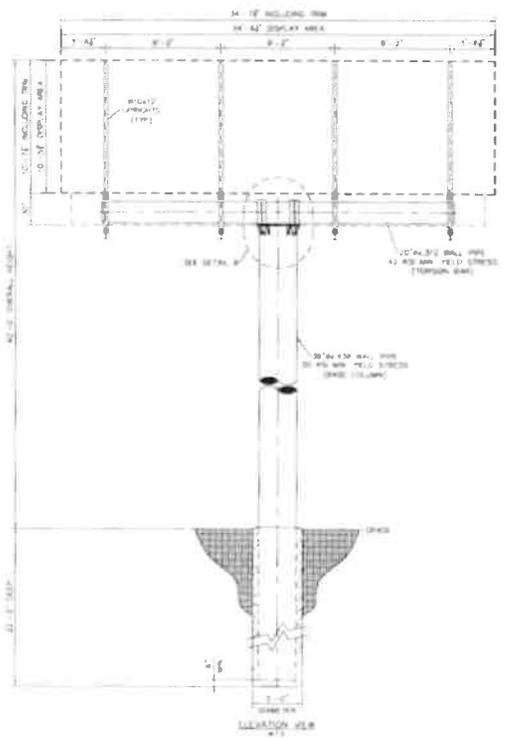
SECTION F
CANTAILS COLLECTOR DETAIL
W11



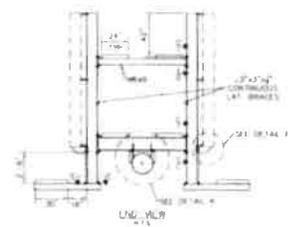
SECTION G
W11



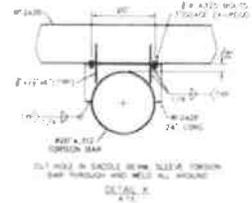
SECTION H
W11



ELEVATION VIEW
W11



DETAIL C
W11

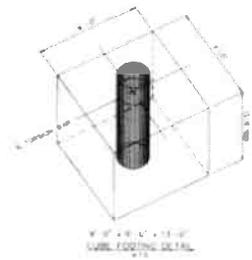


DETAIL D
W11

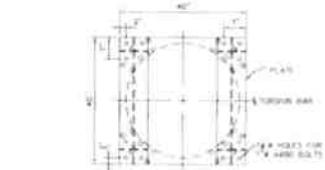
THIS STRUCTURE AS DESIGNED IS CAPABLE OF SUPPORTING UP TO
TWO (2) DIGITAL UNITS WEIGHING APPROXIMATELY 4,725# EACH



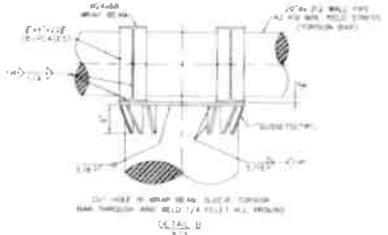
AUGER FOOTING DETAIL
W11



CUBE FOOTING DETAIL
W11



PLAN
W11



DETAIL E
W11

GENERAL NOTES:

1. All design, detailing, fabrication and construction shall conform to the following codes and specifications:
 - a. The International Building Code (2018 Edition)
 - b. American Society of Testing and Materials (ASTM) specifications
 - c. Building Code Requirements for Reinforced Concrete (ACI 308 - (Current Edition))
 - d. Code for Welding in Building Construction of the American Welding Society (AWS) (Current Edition)
 - e. Specification for the Design, Fabrication and Erection of Structural Steel for Buildings by the American Institute of Steel Construction (AISC) (Current Edition)
2. Concrete shall be 4,000 P.S.I. @ 28 days
Compressive Strength, Standard Weight (150 P.C.F.)
3. Reinforcing Steel (if required) shall be ASTM A 615 Grade 60
 - a. All reinforcing steel shall be free from mud, oil, rust or coatings that would reduce or destroy bond.
 - b. All reinforcing bars shall be 3/8" diameter minimum, except as noted.
 - c. Minimum concrete cover on top, bottom and side bars shall be 1 1/4" inch for cast-in-place and 1 1/2" inches for precast concrete.
4. Structural Member Specifications
 - a. Structural Steel and Plates shall be A-36
 - b. Structural Locomotive shall be (F_y=70 ksi) Minimum
 - c. Structural Locomotive shall be ASTM A 302 Grade 9 (F_y=42 ksi)
 - d. Structural piping shall be ASTM A-53, Grade B, Type K or D (F_y=35 ksi) ASTM A572 Grade 42 (F_y=42 ksi) or ASTM A572 Grade 50 (F_y=50 ksi) unless otherwise noted.
 - (See drawing for individual member specifications.)
5. Anchor bolts (if required) shall be ASTM A 307 Class B, unless otherwise noted
6. High strength bolts for connections shall be ASTM A-325, unless otherwise noted
7. Welding processes shall conform with AWS D1.1 (Current Edition) E7018
8. Design Wind Speed= 130 MPH (I.B.C.)
Equivalent Wind Load= 8.20 PSF @ 40'± above the ground (3 Sec. Wind Gusts)
Exposure "C" S_w=1.0 G=1.00
9. Soil Bearing Capacity Requirements:
 - a. Spread Footings shall be 2,000 PSF
 - b. Caisn or Auger Footing Minimum Lateral Soil Bearing Capacity shall be (150 PSF + 1"-300 PSF per inch of depth - 1.0 times per 1" 300 Lateral Soil) as shown on Section 18B.14
10. Contractor shall verify all dimensions and conditions in the field before erection and notify the Engineer of any discrepancies
11. Spacing of both holes in steel members, not cut and pier is permitted if full penetration weld is used (per AWS D1.1) and be used and must be performed by a certified welder. Spacing shall not be other one half of the foundation depth below grade, when 10' above grade or other 1/2' above base of footing unless noted otherwise
12. The structure shown is designed to support up to two (2) digital units weighing up to approximately 4,725# each.

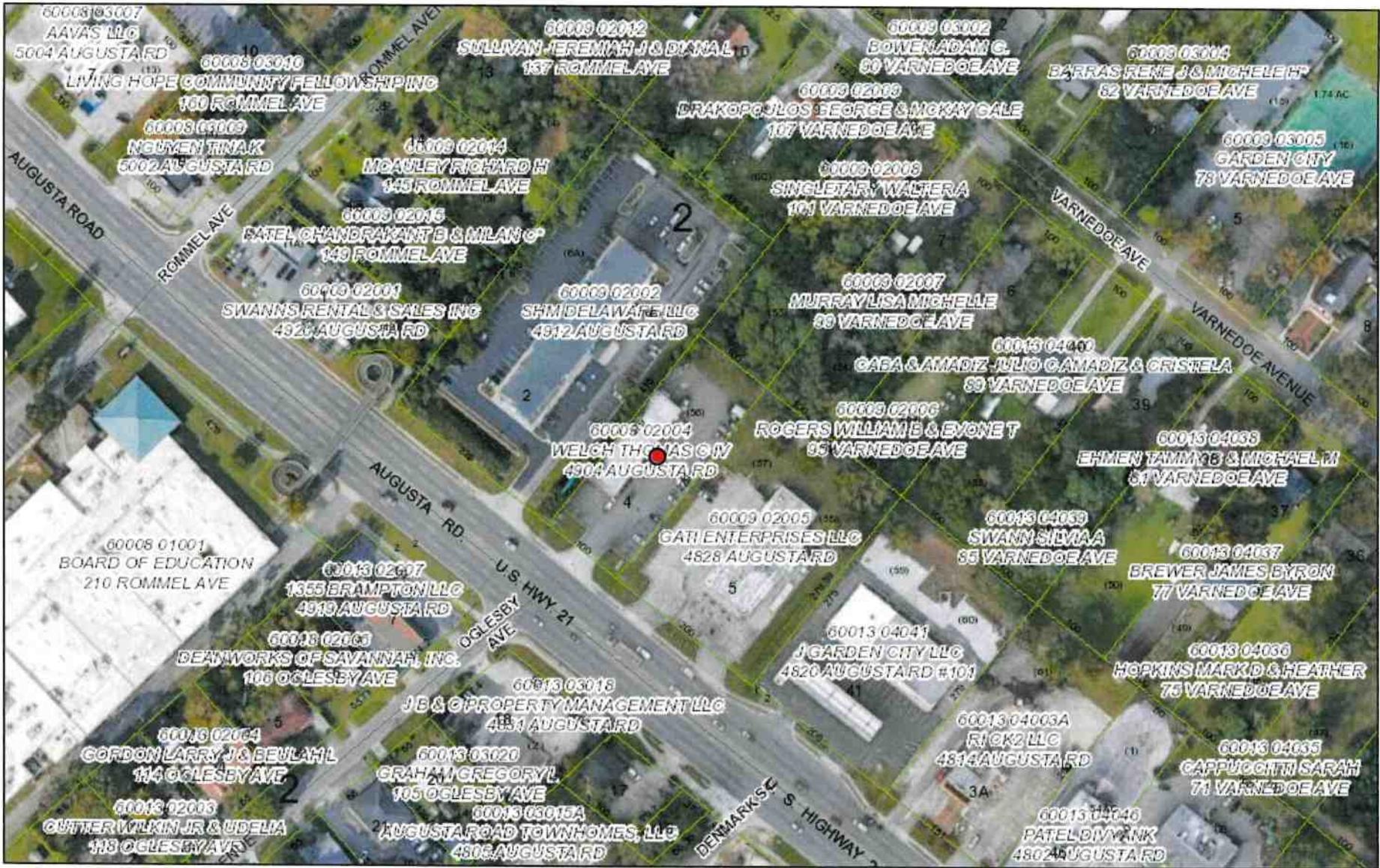
This drawing is for permitting purposes only. Unauthorized use is prohibited.

Selective Structures, LLC
811 East Avenue
Athens, TN 37303

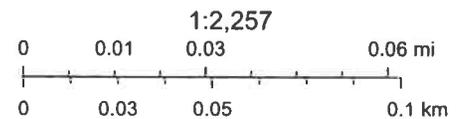
10'-6" x 36'-0" CM, 15W @ 40'-0" O.A.H
w/Up to Two (2) 4,725# Digital Units
Location: 4904 Augusta Rd.
Savannah, GA

GINN SERVICES GINN ENGINEERING & SERVICES, LLC
1975 PATRICK RD
WATERSVILLE, GA 30677
678.232.0877

STATE OF GEORGIA
Professional Engineer Seal
No. PE045301
Date: 12/17/21
Project: 17-17-01
Title: 18B.14
Scale: AS SHOWN
Sheet: 1 of 1



- Local Roads
- Major Roads
- Parkways
- Interstate
- Local Roads
- Major Roads
- Parkways
- Owner, PIN and Address Labels



Google Inc, SAGIS

City of Garden Site Plan Application



GARDEN CITY

Development Information

Development Name		
RaceTrac Dean Forest		
Property Address		
0 Dean Forest Road, Savannah, GA 31408 (address not provided on parcel map)		
Phased development?		If yes, indicate proposed number of phases:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		N/A
Parcel ID	Total Site Acreage	Zoning
60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002	46.01	C-2A and I-2
Project Description		
Convenience Store with fueling stations and parking.		
Water Supply		Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private		<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner	
Name	Address
RaceTrac Petroleum, Inc.	200 Galleria Parkway, Suite 900, Atlanta, GA 30339
Phone	Email
770-595-0309	tpease@racetrac.com
Engineer/Surveyor <input checked="" type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Thomas & Hutton	Charles Ezelle and Rebecca Montgomery
Phone	Email
912-466-0536	montgomery.r@tandh.com; ezelle.c@tandh.com
Authorized Agent (Requires Authorized Agent Form) <input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Phone	Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Tommy Pease

Print Name


Signature

2/2/2023

Date

OFFICE USE ONLY			
Received By	Date Received	Case Number	
Submittal Format	Fee Amount Paid	Invoice Number	
<input type="checkbox"/> Electronic <input type="checkbox"/> Paper <input type="checkbox"/> Both			



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2316 – RaceTrac – Dean Forest and U.S. Highway 80

Application Type	General Development Plan
Case Number	PC 2316
Applicant	RaceTrac Petroleum
Name of Project	RaceTrac
Property Address	0 Dean Forest Road
Parcel IDs	60924 01013, 60924 01015, 60924 01014, 60924 01018, 60924 01016, 60924 01002
Area of Property	46.01 acres
Current Zoning	C-1 and I-1
Proposed Land Use	Convenience store with fueling stations

GENERAL INFORMATION

Project Description: The applicant is proposing to develop a gas station and convenience store on the southeast quadrant of U.S. Highway 80 and State Route 307 (Dean Forest). The properties have been combined into one parcel. The southern portion of the property consists of wetlands and is protected through a conservation easement.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- Proposed uses and overall development plan*
The proposed use is permitted in C-1 zoning.
Use (46) Automobile service station, including automobile washeteria: R-I-N(B), C-1, C-2, C-2A, C-2A(B & W), I-1.
The following regulations shall apply to this use:
 - Major auto repair shall not be permitted.



- b. Gasoline pumps and service areas for gasoline pumps shall not be permitted within the required front yard setback established for the particular class of street in the zoning district within which the service station is located.
 - c. All service, storage or similar activities connected with such use shall be conducted entirely on the lot on which such use is located.
 2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*

The proposed building is tan brick with glass entry doors and vertical accents. The building is partially surrounded by an awning which covers outdoor seating areas.
 3. *Fences, landscaping, and buffers.*

The site will retain an area of existing vegetation adjacent to U.S. Highway 80, as well as the wetlands on the southern portion of the property. Additional landscaping will be added throughout the site in landscape islands and adjacent to the convenience store.
 4. *Driveway and parking orientation, in keeping with the established character in the area.*
 - The site is designed to separate passenger vehicles and trucks through the entry points, fueling station location and design, and signage/pavement markings. The applicant has provided additional information regarding the proposed signage.
 - U.S. Highway 80 access: There are two ingress/egress points. The eastern driveway is intended for passenger vehicular traffic and allows a right-in, right-out only. The western driveway is intended for truck traffic and allows for full access to and from U.S. Highway 80.
 - State Route 307 access: There is one access point which allows three-quarter access to the highway. Right-in and right-out movements are allowed for passenger vehicles and trucks. Passenger vehicles will be allowed to turn left (southbound) onto State Route 307. Trucks will be discouraged from turning left at this point through the intersection design, including the installation of raised concrete islands. No left turns into the site will be permitted at this point.
 5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*

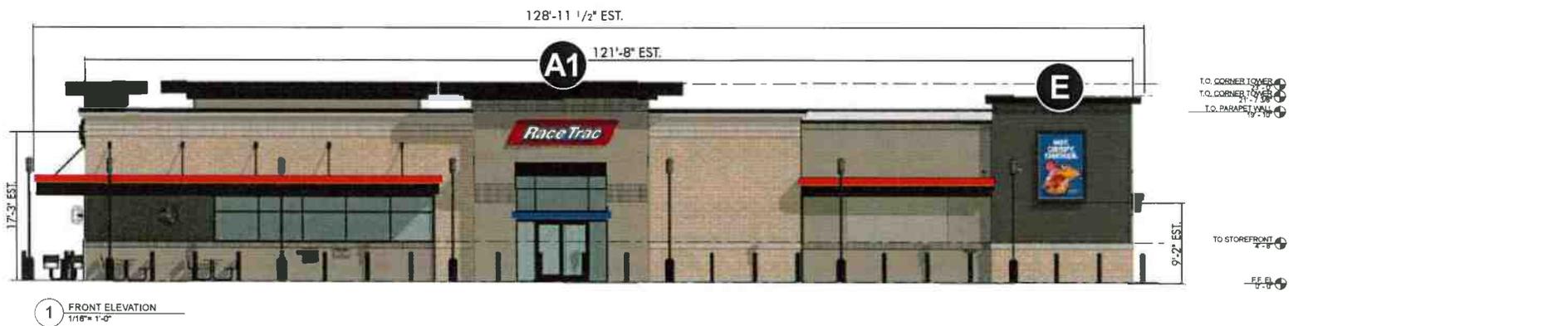
Two monument signs are proposed, one adjacent to U.S. Highway 80 and the other adjacent to State Route 307. Any signage shall comply with the City of Garden City ordinances and will require a sign permit. There is an existing billboard on the property at the intersection.

RECOMMENDATION

Approval of the General Development Plan.

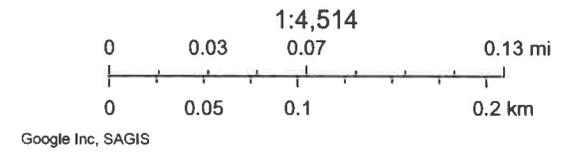
Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.





- Local Roads — Interstate — Parkways
- Major Roads — Local Roads — Interstate
- Parkways — Major Roads — Owner, PIN and Address Labels



City of Garden Site Plan Application



Development Information

Development Name
Farmers Market Center Site Development

Property Address
4107-C- Eighth Street Savannah

Phased development? Yes No **If yes, indicate proposed number of phases:**

Parcel ID	Total Site Acreage	Zoning
60022 03032	0.79	

Project Description
New Retail Building

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

Applicant Information

Owner

Name	Address
Andrew Morris	4107-C- Eighth Street Savannah
Phone	Email
843-4414085	andrew@savannahhydro.com

Engineer/Surveyor Same as authorized agent Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
T.R. Long Engineering P.C.	Joseph Stuckey
Phone	Email
9123351046	jstuckey@trlongeng.com

Authorized Agent (Requires Authorized Agent Form) Check here to receive staff review comments via email

Company Name	Contact (Individual Name)
Phone	Email

I understand that I will need to attend or be represented by a duly authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Andrew Morris
Print Name


Signature

2-21-23
Date

OFFICE USE ONLY		
Received By	Date Received	Case Number
Submittal Format	Fee Amount Paid	Invoice Number



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Denise R. Grabowski, AICP, LEED AP, Planning Manager Consultant
Date: March 7, 2023
Re: PC 2317 – 4107C 8th Street

Application Type	General Development Plan
Case Number	PC 2317
Applicant	Andrew Morris
Name of Project	4107 8 th Street
Property Address	4107 8 th Street
Parcel IDs	60022 03032
Area of Property	0.74 acres
Current Zoning	C-2
Proposed Land Use	Retail

GENERAL INFORMATION

Project Description: The applicant is proposing to build a new retail building to replace the current building on this property.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

- Proposed uses and overall development plan*
Retail stores are permitted in the C-2 zoning district. The proposed plan includes a new retail building, parking, and landscaping.
- Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
The applicant submitted an initial sketch of the proposed building, which is a metal building with a shed roof. The applicant has not finalized the plans for the façade, but anticipates using brick or reclaimed wood for the front of the building, similar to the two adjacent buildings.

3. *Fences, landscaping, and buffers.*
The proposed development provides landscaping in the parking area and adjacent to the building.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
Access to the property is provided via 8th street and Anderson Avenue.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

RECOMMENDATION

Approval of the General Development Plan.

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

PLANTING NOTES

GENERAL
 1. CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL OTHER SITE IMPROVEMENTS PRIOR TO STARTING LANDSCAPE WORK AND SHALL PROMPTLY REPORT ANY DISCREPANCIES.
 2. CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY EXISTING UTILITIES. IF ANY ARE ENCOUNTERED, CONTRACTOR SHALL IMMEDIATELY ADVISE THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND OWNER.
 3. GENERAL SITE CONTRACTOR SHALL PROVIDE SUBGRADE TO WITHIN 1.10" OF FINISH GRADE.
 4. ALL PLANTING SHALL ADHERE TO THE STANDARDS AS SPECIFIED IN THE GARDEN CITY, GA LANDSCAPE ORDINANCE.

PLANT QUALITY
 1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TREES, SHRUBS, GROUNDCOVER, VINES AND SOO AS SHOWN ON LANDSCAPE PLAN. ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE ASSOCIATION OF NURSERIES, 12501 STREET, N.W. SUITE 500, WASHINGTON D.C. 20005, (202) 796-2600.
 2. ALL PLANT MATERIAL SHALL HAVE A ONE-YEAR WARRANTY UPON ACCEPTANCE BY THE OWNER.
 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE A NORMAL WELL-DEVELOPED BRANCHING STRUCTURE AND A WOODRUS FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, WOODRUS, AND FREE FROM INSECTS AND DISEASE. TREE TRUNKS NOT LOWER THAN FOUR FEET ABOVE THE GROUND, DEPENDENT ON THE SPECIES. TRUNKS AND STEMS SHALL BE FREE FROM INDICATION OF FUNGAL CANKERS, GALLS, INSECT BORERS, DIE BACK, FROST CRACKS, SUN SCALD, OR OTHER DEFECTS THAT WOULD CAUSE THE TREE TO DECLINE OR BECOME STRUCTURALLY UNSOUND. TREES SHALL BE DENSELY FOLIATED WHEN IN LEAF.
 4. ALL PLANTS SHALL BE COMMERCIAL GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF GARDEN CITY, GA (A.H.S. PLANT ZONE B).
 5. ALL PLANTS SHALL EQUAL OR EXCEED THE MINIMUM SIZE AS SHOWN IN THE PLANT LIST, AND ALL METHODS OF PLANT MEASUREMENT SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK".
 6. CALIPER OF MULTITRUNK TREES SHALL BE DETERMINED BY MEASURING THE LARGEST TRUNK ONLY.
 7. PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATIONS AND REQUIREMENTS, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK, ACCEPTANCE AT THE NURSERY, IN WHICH THE PLANT IS GROWING PRIOR TO TRANSPORTING, DOES NOT PRECLUDE REJECTION AT THE SITE FOR JUST CAUSE.

ROOT SYSTEM
 1. ALL TREE SHALL BE BALLED AND BURLAPPED (BAB) OR CONTAINER GROWN. NO BARE ROOT TREES SHALL BE ACCEPTABLE.
 2. ALL SHRUBS SHALL BE BALLED AND BURLAPPED (BBB) OR CONTAINER GROWN. NO BARE ROOT SHRUBS SHALL BE ACCEPTABLE.
 3. THE MINIMUM SIZE OF BALLS, BALL DEPTHS, AND BALL DIAMETER SHALL CONFORM TO BALLING AND BURLAPPING SPECIFICATIONS AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK".
 4. ALL BALLED AND BURLAPPED PLANTS SHALL HAVE THE TOP 1/2 OF THE BURLAP REMOVED FROM THE BALL AFTER THE POSITION OF THE PLANT IS STABILIZED. NO BURLAP SHALL BE REMOVED FROM UNDER THE BALL, AND ALL WIRE AND SURPLUS FROM THE TOP OF THE BALL SHALL BE REMOVED.

SEEDING AND SOODING
 1. ALL EXTERIOR GROUND AREA NOT OCCUPIED BY BUILDINGS, STRUCTURES, PAVEMENT, PLANT MATERIAL, AND MULCH SHALL BE SEEDDED OR SOODDED IN AN ACCEPTABLE MANNER IN ACCORDANCE WITH LOCAL NURSERY STANDARDS, UNLESS OTHERWISE NOTED.
 2. ALL SEED SHALL BE PURCHASED FROM A REPUTABLE SUPPLIER AND SHALL BEAR THE CURRENT SEASON'S CERTIFICATES OF WEIGHT, PURITY AND GERMINATION.
 3. ALL SOO SHALL BE COMMERCIAL GROWN IN GEORGIA OR NEIGHBORING AREAS, STRONGLY ROOTED AND FREE FROM WEEDS.
 4. ALL SOO SHALL BE LAYED WITHIN 10 DAYS OF BEING CUT AT THE NURSERY.
 5. SOO SHALL BE LAYED OUT SO THAT NO VOIDS OCCUR AND IN SUCH A MANNER THAT THE END JOINTS BETWEEN INDIVIDUAL SOO PIECES OF ADJOINING ROW DO NOT COINCIDE. SOO SHALL BE LAID ON TOPSOIL AT THE REQUIRED FINISH GRADE AND SHALL BE FLUSH WITH ADJACENT PAVEMENT, CURBS, AND PLANTING BED EDGES.

TOPSOIL
 1. CONTRACTOR SHALL PROVIDE A MINIMUM 3" DEPTH OF TOPSOIL IN ALL PLANTING AREAS.
 2. ALL TOPSOIL SHALL BE FREE FROM ROCKS, DEBRIS, NOXIOUS WEEDS, EXCESSIVE WEEDS, PLANT WASTE, SUBSOIL, HEAVY CLAY ROOTS, STUMPS AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH.
 3. TOPSOIL SHALL BE NATURAL, FERTILE, SANDY LOAM POSSESSING CHARACTERISTICS COMMON TO PRODUCTIVE SOILS IN THE SOUTHEASTERN COASTAL REGION, AND IT SHALL NOT CONTAIN ANY TOXIC SUBSTANCES.

PLANTING
 1. GROUND COVER SHALL BE PLANTED AS SPECIFIED BELOW.
 1.1. GROUND COVER SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLANT LIST.
 1.2. WHERE GROUND COVER ADJUTS CURBS, PAVEMENT, SIGNS AND POLES, MINIMUM PLANTING DISTANCE SHALL BE 12" FROM CENTER OF PLANT TO SAID OBJECT.
 1.3. GROUND COVER SHALL BE PLANTED A MINIMUM OF 1/4" FROM CENTER OF ALL TREES.
 2. SHRUBS AND GRASSES SHALL BE PLANTED A MINIMUM OF 4" FROM CENTER OF ALL LARGE TREES.
 3. SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 30" FROM CURBS AT CAR PARKING AREAS TO ALLOW FOR OVERHANG, UNLESS VEHICLE STOPS ARE PROVIDED.
 4. NO LARGE OR MEDIUM TREE SPECIES SHALL BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITY LINE OR UNDERNEATH ANY OVERHEAD POWER LINES. SMALL TREE SPECIES MUST MAINTAIN A MINIMUM FIVE (5) FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.
 5. TREES SHALL BE PLANTED AT PROPER DEPTH OR SHALL BE REJECTED AT TIME OF INSPECTION.
 6. STAKE TREES ONLY WHEN NECESSARY.

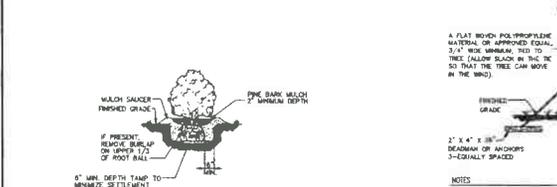
FERTILIZER
 1. CONTRACTOR SHALL PERFORM A SOIL TEST ON ALL PROPOSED LANDSCAPE AREAS BEFORE INSTALLING ANY PROPOSED PLANT MATERIAL.
 2. IF A SOIL TEST DETERMINES THAT ADDITIONAL SOIL AMENDMENTS ARE REQUIRED, CONTRACTOR SHALL APPLY AN APPROPRIATE FERTILIZER IN CONFORMANCE WITH INSTRUCTIONS ON THE CONTAINER.

MULCH
 1. ALL TREES AND SHRUBS SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 1" LAYER OF ACCEPTABLE MATERIAL.
 2. ALL GROUND COVER SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 2" LAYER OF ACCEPTABLE MATERIAL.
 3. ACCEPTABLE MULCHING MATERIAL INCLUDES PINE NEEDLES, SHREDDED BARK, AND WOOD CHIPS.

WATERING
 1. ALL PLANTS INCLUDING TREES, SHRUBS, AND GROUNDCOVER SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.
 2. ALL SEEDDED AND SOODDED AREAS SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.

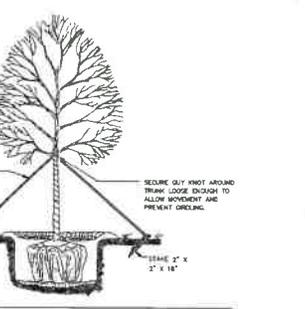
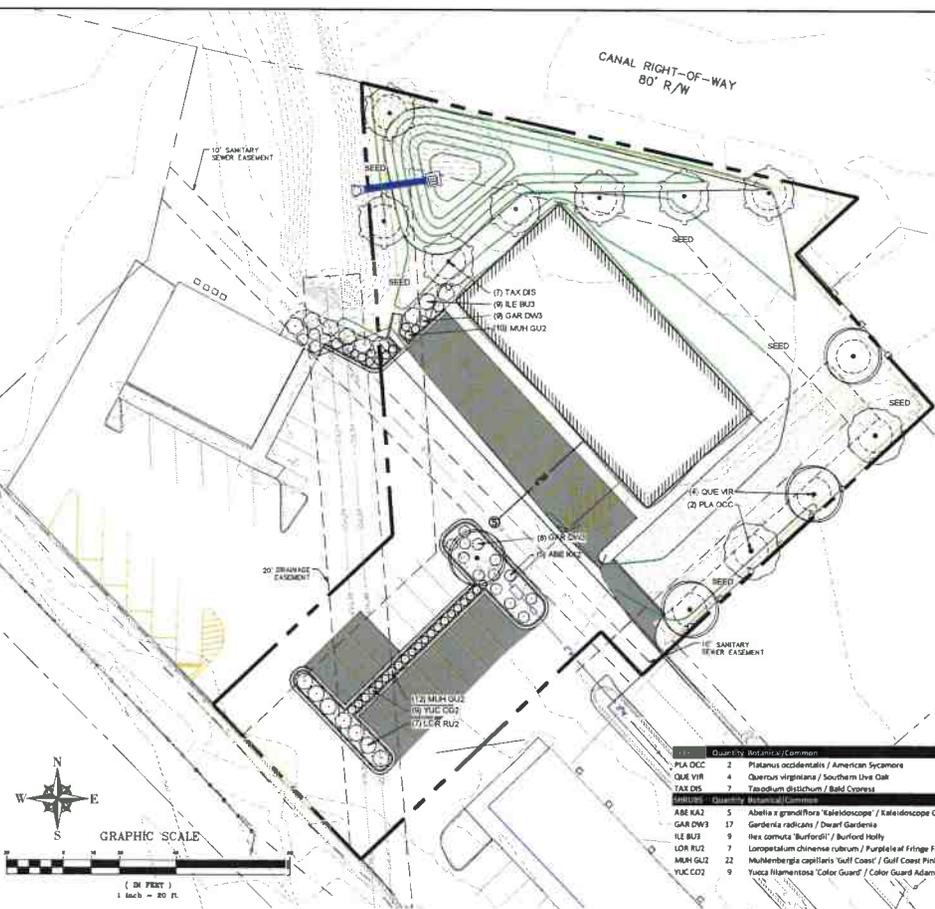
MAINTENANCE
 1. CONTRACTOR SHALL INSPECT PLANTS ON A WEEKLY BASIS, MAINTAIN AND WATER ALL SOODDED AREAS AND PLANT MATERIALS, AND WEED, PRUNE, AND RE-MULCH PLANTING BEDS AS NECESSARY MAINTAIN HEALTHY GROWING CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETE.
 2. OWNER IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL PLANT MATERIAL UPON COMPLETION OF LANDSCAPE INSTALLATION.
 3. GUTTING AND STAKING SHALL BE REMOVED NO LATER THAN 6 MONTHS AFTER INSTALLATION.

PLANT ALTERATIONS AND SUBSTITUTIONS
 1. ANY CHANGE IN PLANT QUANTITY, PLANT SPECIES, PLANT SIZE, OR PLANT LOCATION IS UNACCEPTABLE WITHOUT SPECIFIC APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.



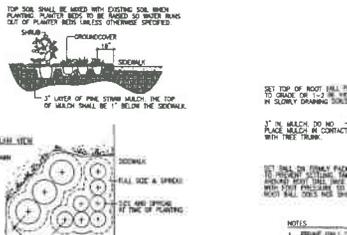
NOTES
 1. CLUMPY PINE BARK MULCH, SPREADS AND OR BEAR BRANCHES IF NECESSARY.
 2. FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.
 3. STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
 4. TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE GUY STRAPS WHEN NECESSARY.

SHRUB PLANTING



NOTES
 1. SELECT DRAINAGE ANCHORS OR STAKES TO SECURE TREE.
 2. STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
 3. TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE GUY STRAPS WHEN NECESSARY.

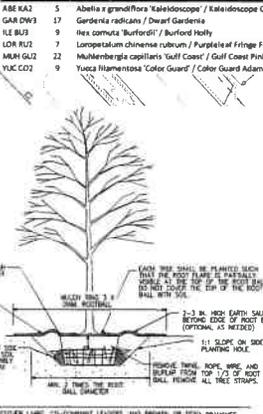
TREE STAKING



NOTES
 1. SELECT DRAINAGE ANCHORS OR STAKES TO SECURE TREE.
 2. STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
 3. TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE GUY STRAPS WHEN NECESSARY.

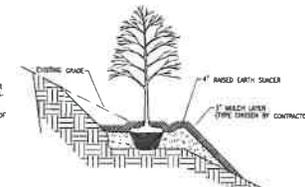
SHRUB & GROUNDCOVER SPACING

Quantity	Botanical/Common	Container	Container Size	Height	Remarks
PLA OCC	2 Platanus occidentalis / American Sycamore	2" CAL	CONTAINER OR BAB	8' MINIMUM FULL HEAD, MATCHING	
QUE VIR	4 Quercus virginiana / Southern Live Oak	2" CAL	CONTAINER OR BAB	8' MINIMUM FULL HEAD, MATCHING	
TAX DCS	7 Taxodium distichum / Bald Cypress	2" CAL	CONTAINER OR BAB	8' MINIMUM FULL HEAD, MATCHING	
ABE KAZ	5 Abelia grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	3 GAL	CONTAINER		
GAR DW3	17 Gardenia radicans / Dwarf Gardenia	3 GAL	CONTAINER		
ILE BU3	9 Ilex cornuta 'Burfordii' / Burford Holly	3 GAL	CONTAINER		
LOR BU2	7 Lomelosium chinensis rubrum / Purple Heart Fringe Flower	3 GAL	CONTAINER		
MUX GU2	22 Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Pink Muhly Grass	3 GAL	CONTAINER		
YUC CO2	9 Yucca filamentosa 'Color Guard' / Color Guard Adam's Needle	3 GAL	CONTAINER		



NOTES
 1. PRUNE ONLY BRANCHES LARGER THAN CURRENT LEADERS AND BRANCHES ON BEND BRANCHES.
 2. REMOVE EXCESSIVE BRANCHES AND BRANCHES ON BEND BRANCHES.
 3. REMOVE EXCESSIVE BRANCHES AND BRANCHES ON BEND BRANCHES.
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TREE PLANTING



NOTES
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TREE PLANTING ON SLOPE

SITE DATA
 SITE: 0.74 AC
 BUILDING: 5,000 SF
 TREE SITE DENSITY REQUIRED: 16.00 UNITS PER AC = 12.00 UNITS TREE SITE DENSITY PROVIDED: 13.00 UNITS

10' LANDSCAPE STRIP BETWEEN ROW AND PARKING LOTS
 W/ CONTINUOUS EVERGREEN HEDGE 3' HIGH DRIVE ISLE & PARKING LOT ALONG PUBLIC ROW IS EXISTING.

10' LANDSCAPE STRIP ALONG ROW: PARKING LOT ALONG PUBLIC ROW IS EXISTING.
 1 - 2.5" CALIPER CANOPY TREE &
 2 - 1.5" UNDERSTORY TREE PER SF LENGTH

PARKING LOT TREE REQUIREMENT: PARKING LOT IS EXISTING.
 1 - 2.5" CALIPER TREE PER 5 SPACES.
 EACH SPACE SHALL HAVE A TREE LOCATED WITHIN 8 FT

BUFFER: NO BUFFER REQUIRED.
 SITE SURROUNDED BY SAME ZONING & A VEHICLE REPAIR SHOP / JUNKYARD.

BUILDING LANDSCAPING ALONG PUBLIC ROW:
 1 - 1.5" UNDERSTORY TREE PER 5' SPACES
 1 - 2" EVERGREEN SHRUB PER 3'

GARDEN CITY PLANTING NOTES
 1. CONTACT THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY PRIOR TO ANY LAND DISTURBANCE.
 2. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT FOR AN INSPECTION BY THE CITY.
 3. NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
 4. A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
 5. ALL LANDSCAPE MATERIAL INSTALLATION SHALL CONFORM TO THE CURRENT STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) AND ARE SUBJECT TO APPROVAL BY THE CITY.



TR LONG ENGINEERING & ARCHITECTURE
 10000 Towne Center Blvd
 Atlanta, GA 30338
 Phone: (404) 252-2222
 Fax: (404) 252-2222



TR LONG ENGINEERING & ARCHITECTURE
 10000 Towne Center Blvd
 Atlanta, GA 30338
 Phone: (404) 252-2222
 Fax: (404) 252-2222



RETAIL BUILDING AT FARMERS MARKET CENTER

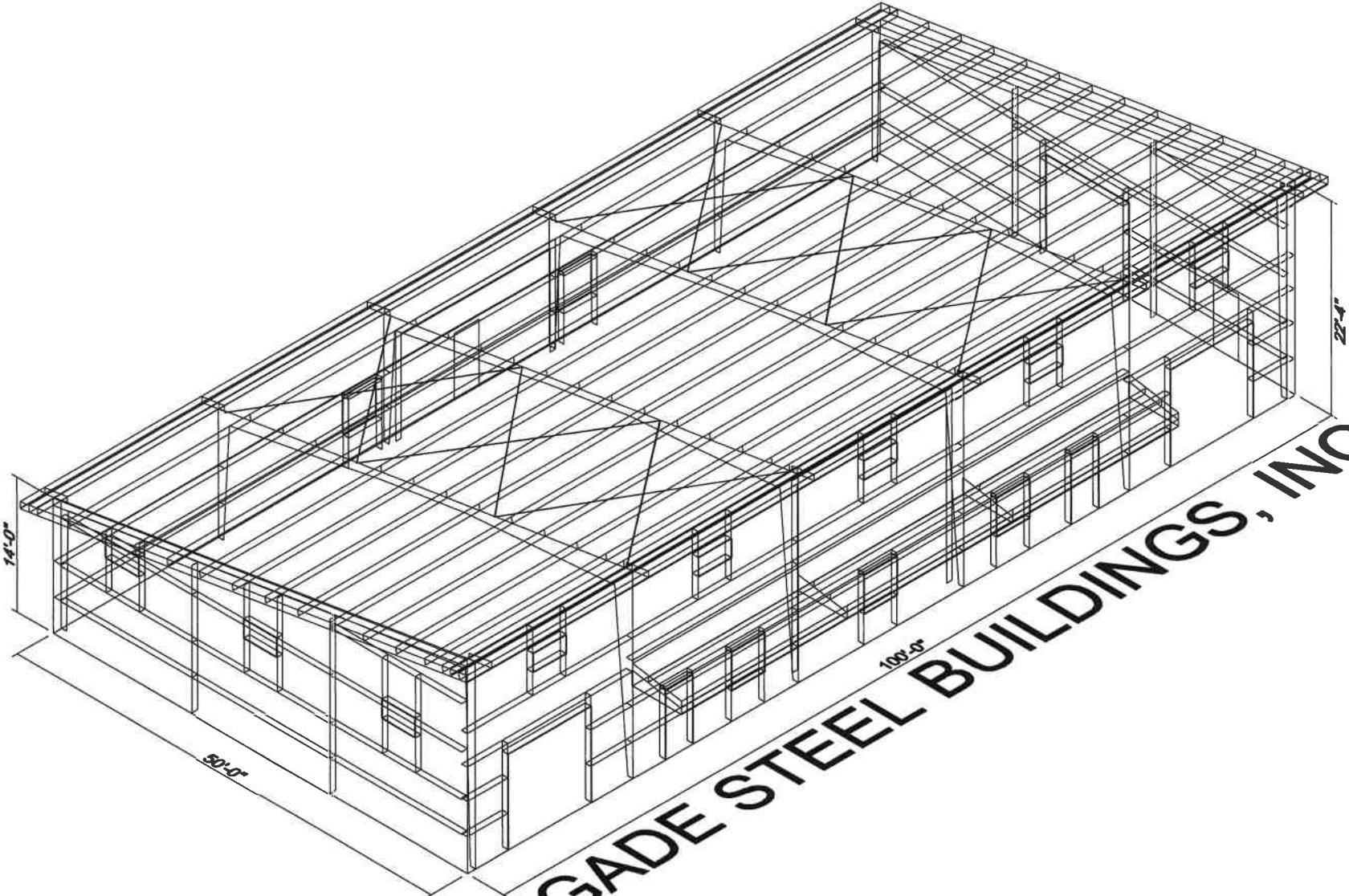
SHEET NAME: LANDSCAPE PLAN

REVISIONS:

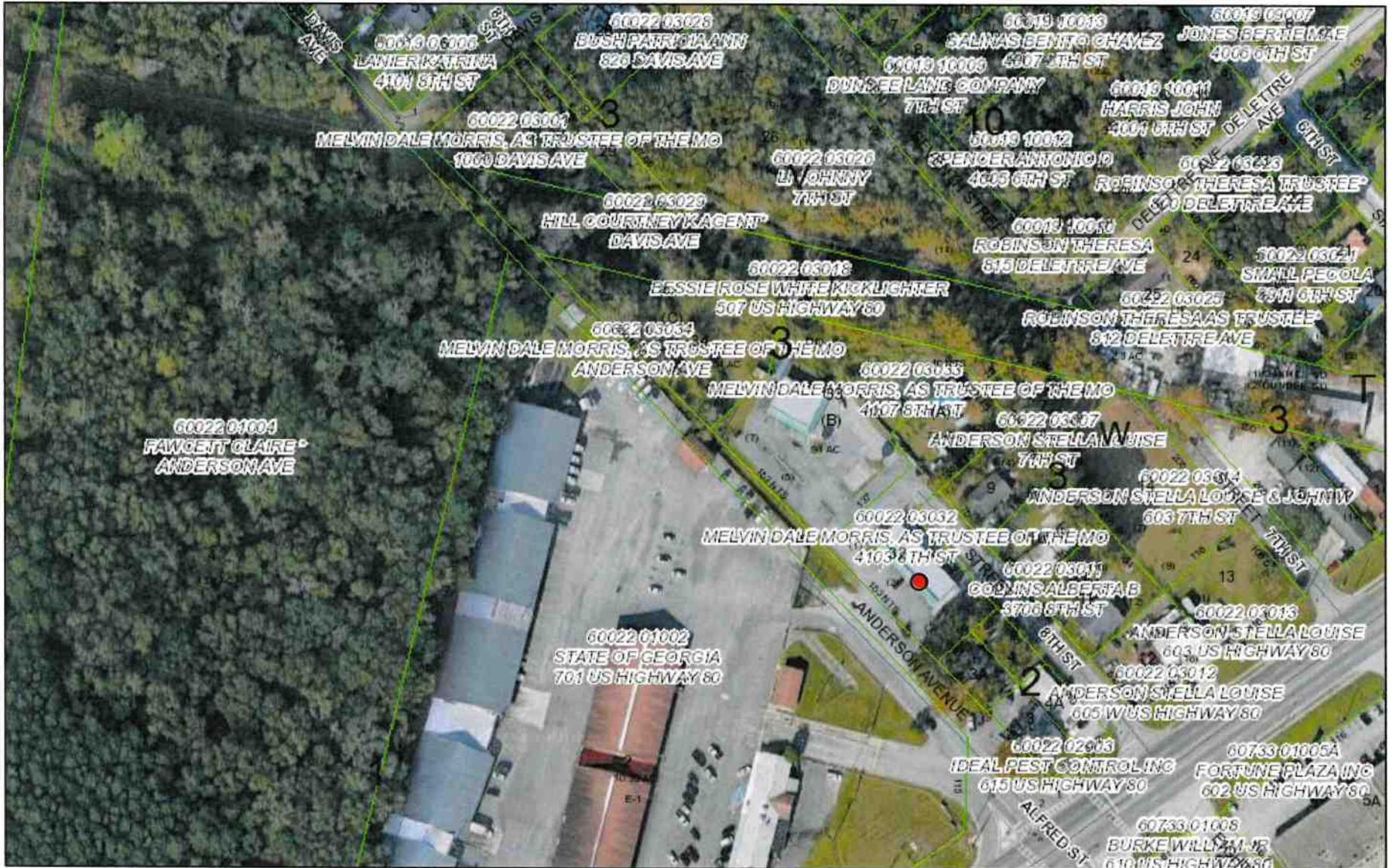
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DATE: 12/15/22
 DRAWN BY: CS
 CHECKED BY: TL
 PROJECT NO: 22-001

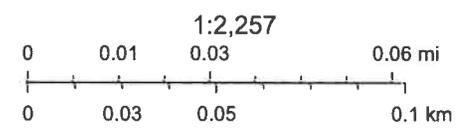
SHEET NUMBER: C6.1



RENEGADE STEEL BUILDINGS, INC.



- Local Roads
- Major Roads
- Parkways
- Interstate
- Local Roads
- Major Roads
- Parkways
- Parkway
- Interstate
- Owner, PIN and Address Labels



Google Inc, SAGIS