

AGENDA

Board of Zoning Appeals / Planning Commission Meeting
Tuesday, November 18, 2025 - 6:00pm

Pre-agenda @ 5:30pm

- ☒ **Call to Order**
- ☒ **Roll Call**
- ☒ **Approval of Agenda – November 18, 2025**
- ☒ **Approval of Board of Zoning Appeals/Planning Commission Minutes**
 - October 14th, 2025
- ☒ **Board of Zoning Appeals**
 - No Cases.
- ☒ **Adjournment**
- ☒ **Planning Commission**
 - PC-11-25-1142: Integrated Civil Solutions LLC, requests a general development plan approval for 4885 Old Louisville Rd, PIN: 60969 02009 for maintenance shop.
 - PC-11-25-1143: Roberts Civil Engineering, requests a zoning map amendment for 61 Brampton Road & 55 Brampton Road, PIN: 60015 03033 60015 03032 for a town home development from R-1 to R-I-N.
 - PC-11-25-1144: Roberts Civil Engineering, requests a general development plan approval for, 67, 63, 61, 55 Brampton Road, PIN: 60015 03035, 60015 03034, 60015 03033, 60015 03032 for a town home development.
 - PC-10-25-1138: Architecture 101, requests a general development plan approval for 4710 Augusta Road, PIN: 60013 04008 for a retail shopping center.
- ☒ **Adjournment**

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S CONSOLIDATED BOARD OF ZONING APPEALS/PLANNING
COMMISSION AND STANDARDS GOVERNING THE EXERCISE OF THE ZONING POWERS OF THE
BOARD OF ZONING APPEALS AND THE PLANNING COMMISSION**

I. Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings conducted by the Consolidated Board of Zoning Appeals/Planning Commission on matters referred to it shall be called to order by the presiding officer.
- (2) The presiding officer shall open the hearing by stating the specific zoning matter being considered at the public hearing, and shall explain the procedures to be followed in the conduct of the hearing and further stating that printed copies of the adopted standards governing the exercise of the zoning powers of the Board of Zoning Appeals and Planning Commission, and the procedures governing hearings before the Board are available to the public.
- (3) The presiding officer shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (4) When there is a large number of individuals wishing to testify at a hearing, the presiding officer may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The presiding officer may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (5) The petitioner requesting the proposed decision, or the petitioner's agent, shall be recognized first and shall be permitted to present and explain the request for the decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the matter.
- (6) After all individuals have had an opportunity to speak in accordance with subparagraph (5) above, those individuals present at the public hearing who wish to speak in opposition to the proposed decision shall have an opportunity to speak.
- (7) Once all parties have concluded their testimony, the presiding officer shall adjourn the public hearing.

II. Standards Governing the Exercise of The Zoning Powers of Garden City's Board of Zoning Appeals:
The Board of Zoning Appeals shall have the following powers:

- (1) To hear and decide appeals where it is alleging that there is an error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Chapter 90 of the Garden City Code of Ordinances.
- (2) To decide upon requests for permission to establish uses which the Board of Zoning Appeals is required to pass under the terms of Chapter 90 of the Garden City Code of Ordinances. The application to establish such use shall be approved on a finding of the Board of Zoning Appeals that:
 - (a) The proposed use does not affect adversely the general plans for the physical development of the city, as embodied in Chapter 90 of the Garden City Code of Ordinances and in any master plan or portion thereof adopted by the Mayor and Council.
 - (b) The proposed use will not be contrary to the purposes stated for Chapter 90 of the Garden City Code of Ordinances.
 - (c) The proposed use will not affect adversely the health and safety of residents and workers in the city.
 - (d) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.
 - (e) The proposed use will not adversely affect the existing uses in the neighborhood.
 - (f) The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of such use.
 - (g) The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.

(h) The standards set forth for each particular use for which a permit may be granted have been met.

The Board of Zoning Appeals may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community and to protect the value and use of the property in the general neighborhood. The proposed use shall be subject to the minimum area, setback, and other locational requirements of the zoning district in which it will be located. The proposed use shall be subject to the off-street parking and service requirements of Chapter 90 of the Garden City Code of Ordinances. Wherever the Board of Zoning Appeals shall find, in the case of any permit granted pursuant to the provisions of said Chapter 90, that any of the terms, conditions or restrictions upon which such permit was granted are not being complied with, the Board shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.

(3) To authorize upon appeal in specific cases such variance from the terms of Chapter 90 of the Garden City Code of Ordinances as will not be contrary to the public interest where owing to special conditions a literal enforcement of the provisions of said Chapter will, in an individual case, result in practical difficulty or unnecessary hardship. Such variance may be granted in such individual cases of practical difficulty or unnecessary hardship upon a finding by the Board of Appeals that:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of said Chapter 90 to this particular piece of property would create practical difficulty or unnecessary hardship;
- (c) Such conditions are peculiar to the particular piece of property involved; and,
- (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of said Chapter 90.

No variance shall be granted for a use of land or building or structure that is prohibited by Chapter 90 of the Garden City Code of Ordinances.

III. Powers and Duties of the Planning Commission.

The Planning Commission is granted all powers and is assigned all duties that the City's Mayor and Council is authorized and empowered to grant and assign, to include the following:

- (1) Making comprehensive surveys and studies of existing conditions and probable future developments and preparing such plans for physical, social, and economic growth as will best promote the public health, safety, morals, convenience, prosperity, or general welfare, as well as efficiency and economy in the development of the city.
- (2) Preparing a master plan or parts thereof for the development of the city.
- (3) Preparing and recommending for adoption to the city council a zoning ordinance or resolution and map for the city.
- (4) Preparing and recommending for adoption to the city council regulations for the subdivision of land within the city, and administering the regulations that may be adopted.
- (5) Preparing and recommending for adoption to the city council a plat or an official map showing the exact location of the boundary lines of existing, proposed, extended, widened, or narrowed streets, public open spaces, or public building sites, together with regulations to control the erection of buildings or other structures within such lines, within the city or a specified portion thereof.
- (6) Making, publishing, and distributing maps, plans, and reports and recommendations relating to the master plan and development of the city to public officials and agencies, public utility companies and civic, educational, professional, and other organizations and citizens.
- (7) Recommending to the executive or legislative officials of the city programs for public improvements and the financing thereof.
- (8) Reviewing all proposed amendments to the zoning ordinance, the subdivision ordinance, and the zoning map, and making recommendation as per Garden City Code Section 90-201 in each case to the city council for approval or denial.
- (9) Approving site and development plans as per Garden City Code Sections 90-43, 90-47, 90-48 and 90-49.
- (10) Approving certain uses in the mixed-use zoning districts as per Garden City Code Section 90-49.

**PROCEDURES FOR CONDUCTING PUBLIC HEARINGS ON PROPOSED ZONING DECISIONS
BEFORE GARDEN CITY'S MAYOR AND COUNCIL
AND STANDARDS GOVERNING THE EXERCISE OF CITY COUNCIL'S ZONING POWER**

Procedures for Conducting Public Hearings on Proposed Zoning Decisions:

All public hearings conducted by the Board of Zoning Appeals for Garden City, Georgia, on proposed zoning decisions shall be conducted as follows:

- (1) All public hearings by the Mayor and Council on zoning amendments shall be chaired by the Mayor.
- (2) The Mayor shall open the hearing by stating the specific zoning amendment being considered at the public hearing and further stating that printed copies of the adopted standards governing the exercise of the Mayor and Council's zoning power and the procedures governing the hearing are available to the public.
- (3) The Director of the City's Planning and Zoning Department shall advise the Mayor and Council of the recommendation of the Planning Commission when applicable.
- (4) The Mayor shall determine the number of attendees who desire to testify or present evidence at the hearing.
- (5) When there is a large number of individuals wishing to testify at a hearing, the Mayor may invoke time limits on individual speakers. In such cases, these time limits shall apply to all speakers. Proponents, including the petitioner or the petitioner's agent requesting the zoning decision, shall have no less than ten (10) minutes for the presentation of data, evidence, and expert opinions; opponents of the proposed decision shall have an equal minimum period of time. The Mayor may grant additional time; provided, however, an equal period of time shall be granted both sides.
- (6) The petitioner requesting such zoning decision, or the applicant's agent, shall be recognized first and shall be permitted to present and explain the request for the zoning decision. Thereafter, all individuals who so desire shall be permitted to speak in favor of the zoning decision.
- (7) After all individuals have had an opportunity to speak in accordance with subparagraph (6) above, those individuals present at the public hearing who wish to speak in opposition to the requested zoning decision shall have an opportunity to speak.
- (8) The Mayor may limit repetitious comments in the interest of time and may call for a show of hands of those persons present in favor of or opposed to the proposed decision.
- (9) It shall be the duty of the Mayor to maintain decorum and to assure the public hearing on the proposed decision is conducted in a fair and orderly manner.
- (10) Once all parties have concluded their testimony, the Mayor shall adjourn the public hearing.

Standards Governing the Exercise of The Zoning Powers of Garden City's Mayor and Council:

Prior to making a zoning amendment, the Mayor and Council shall evaluate the merits of a proposed amendment according to the following criteria:

- (1) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- (2) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- (3) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
- (4) Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?
- (5) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- (6) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?



GARDEN CITY

PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals

From: Jonathan Trego, Zoning Administrator

Date: November 5th, 2025

Re: PC-11-25-1142

Application Type	General Development Plan
Case Number	PC-11-25-1142
Applicant	Marc Liverman
Name of Project	Maintenance Building Addition
Property Address	4885 Old Louisville Road
Parcel IDs	60969 02009
Area of Property	12.58
Current Zoning	I-1
Proposed Land Use	(91) Rental of tools, rental of equipment, tool sales, equipment sales and businesses of a similar nature: C-2, C-2A, C-2A(B&W), I-1(B), I-2(B).

GENERAL INFORMATION

Project Description: The applicant intends to construct a maintenance building on the existing developed property, which was approved as a storage yard.

Project Background: The property was approved by the Planning Commission in 2021 as a truck yard. The new tenant wants to rent equipment, which requires approval from the Planning Commission or Board of Appeals. There will be stormwater management improvements as well as minor site updates.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*
-The concept plan meets all standards, pending stormwater engineering review.

2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
-Elevations are provided with this submittal for Planning Commission comments.
3. *Fences, landscaping, and buffers.*
-This submittal features an appropriate buffer, parking islands, and landscaping information.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
-Parking space requirements are based on one parking space for each 200 square feet of total floor area. The parking space count and tree islands meet or exceed the requirements standards.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
- The sign permit process will be followed once the sign design is finalized.

The applicant has provided the required information. Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

ACTIONS

The Planning Commission shall take one of the following formal actions:

- i. *Approve the general development plan as presented;*
- ii. *Approve the general development plan with modifications or conditions.* The Planning Commission may impose conditions and restrictions so long as the intent of the Zoning Ordinance is carried out and the zoning district regulations established herein are not varied so as to make them less restrictive. The Planning Commission shall specifically state the requirements that must be met before an applicant may be granted final site plan approval;
- iii. *Defer action on the general development plan* upon motion of the Planning Commission or at the request of the applicant. The applicant may revise the proposal based on the comments at the meeting and resubmit it for formal action at a future meeting; or
- iv. *Deny the general development plan* based upon the findings that the proposed plan fails to comply with the requirements for approval.

RECOMMENDATION

Approve the General Development Plan.

RECOMMENDED MOTION

I move to **approve** the general development plan for PC-11-25-1142

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

City of Garden City General Development Plan Application



Development Information

Development Name
Maintenace Building Addition
Property Address
4885 Old Louisville Rd, Garden City, GA 31408

Parcel ID	Total Site Acreage	Zoning
6-0969-02-009	12.58	I-1

Detailed project description including the character and intended use of the development. Attach additional pages as needed.	
Addition of a maintenance shop to an existing gravel yard.	

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private
Existing Conditions	
Is the property located in a flood zone?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Does the property currently contain any of the following:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
• Existing buildings, streets, or other developed areas	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
• Easements or rights-of-way	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
• Underground storage tanks	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
• Water bodies, wetlands, or similar natural features	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
• Specimen trees (see Sec. 90-259)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Proposed Improvements (See "General Development Plan Checklist" for full requirements)		
Building Area (Square Feet)	6,000	
Will the development be phased?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
		If yes, how many phases?
Are buffers required? (see Sec. 90-262)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Will fencing be provided?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, what material? Existing Chain Link w/ Screen		
A façade elevation plan is required.	Building Material(s): Metal Panels	
Building Color(s): Grey		
Any additional details relevant to the application:		
See attached Architectural elevations		

City of Garden City General Development Plan Application



Applicant Information

Owner	
Name	Address
4885 Old Louisville Road, LLC (Zach Riddle)	528 East 45th St, Savannah, GA 31405
Phone	Email
912-220-5144	zach@riddledevelopments.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Integrated Civil Solutions LLC	Marc Liverman, P.E.
Phone	Email
912-507-5755	marc@intcivil.com
Authorized Agent (Requires Authorized Agent Form)	
Company Name	<input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Integrated Civil Solutions LLC	Marc Liverman, P.E.
Phone	Email
912-507-5755	marc@intcivil.com

I hereby certify that I am the owner or authorized agent for the property included in this development application. The information provided in this application is accurate and complete. I understand that any permit issued based on false or misleading information provided in this or subsequent applications will be null and void and subject to penalty as provided by law and ordinance.

I understand that I will need to attend or be represented by the authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Marc Liverman

Owner/Authorized Agent (Print Name)

9/11/25

Date

This form and all required information must be completed in its entirety before it will be accepted by the City of Garden City. Failure to provide all required information may result in a delay in processing.

OFFICE USE ONLY		
Received By	Date Received	Case Number



INTEGRATED CIVIL SOLUTIONS

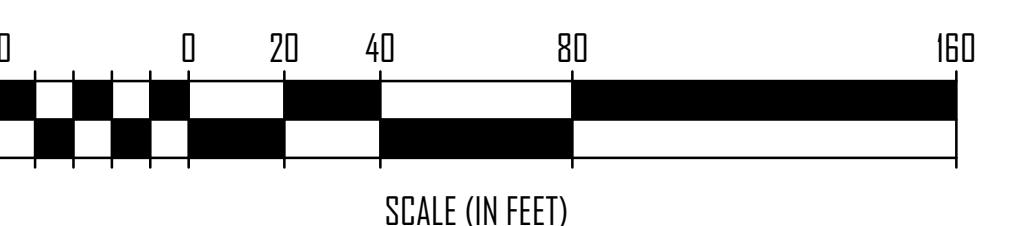
912-507-5755
WWW.INTCIVIL.COM
SAVANNAH, GA
GA COA: PEF 008735
(EXP: JUNE 30, 2026)

4885 OLD LOUISVILLE RD
GARDEN CITY, GA 31408

Maintenance Building Addition



**Know what's below.
Call before you dig.**



PARKING COUNT	
TYPE	NUMBER OF PARKING SPOTS ³
EMPLOYEE	11
ADA	1

NOTES:

1. EXISTING CONDITIONS DERIVED FROM SPECIFIC DEVELOPMENT PLANS PREPARED BY THOMAS AND HUTTON DATED SEPTEMBER 10, 2021.
2. PORTIONS OF THIS PARCEL LIE WITHIN ZONE X AND ZONE AE (11) PER FEMA FIRM PANEL 13051C0127H AND 13051C0135H, EFFECTIVE AUGUST 16, 2018.
3. GARDEN CITY CODE OF ORDINANCE REQUIRES 1 PARKING SPACE FOR EACH 2 EMPLOYEES AT MAXIMUM EMPLOYMENT ON SINGLE SHIFT PLUS 1 PARKING SPACE PER 300 SF OF TOTAL FLOOR AREA FOR THE BUSINESS OR PROFESSIONAL OFFICE. ADDITIONALLY, 1 ADA SPACE IS REQUIRED FOR PARKING FACILITIES WITH 1-25 TOTAL SPACES.

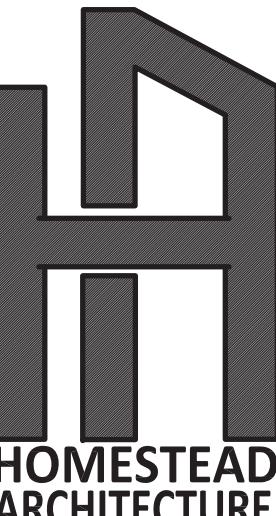
OVERALL SITE LAYOUT

C-000

NOTES:

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PARKING COUNT	
TYPE	NUMBER OF PARKING SPOTS ³
EMPLOYEE	11
ADA	1



HOMESTEAD
ARCHITECTURE
www.homesteadarch.com
collejas@homesteadarch.com
Phone: 912.456.6876
gretchen@homesteadarch.com
Phone: 912.463.1810



RWP ENGINEERING, INC.
CONSULTING ENGINEERS
9100 White Bluff Road
Suite 605
Savannah, Georgia 31406
Ph: 912.231.9212
rwpg.com

New Building for:
United Rental
4885 Old Louisville Road
Garden City, Georgia 31408

Project No.
25.GRJ
Drawn By
GOC
Date
08.14.25
Revisions

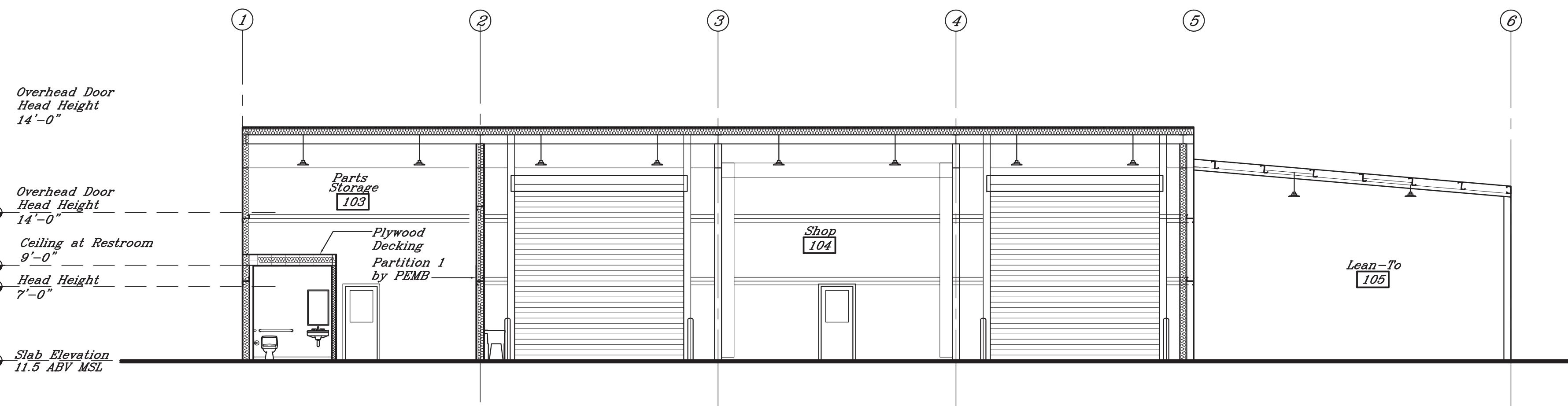
ELEVATIONS
AND SECTION

Drawing No.

A301

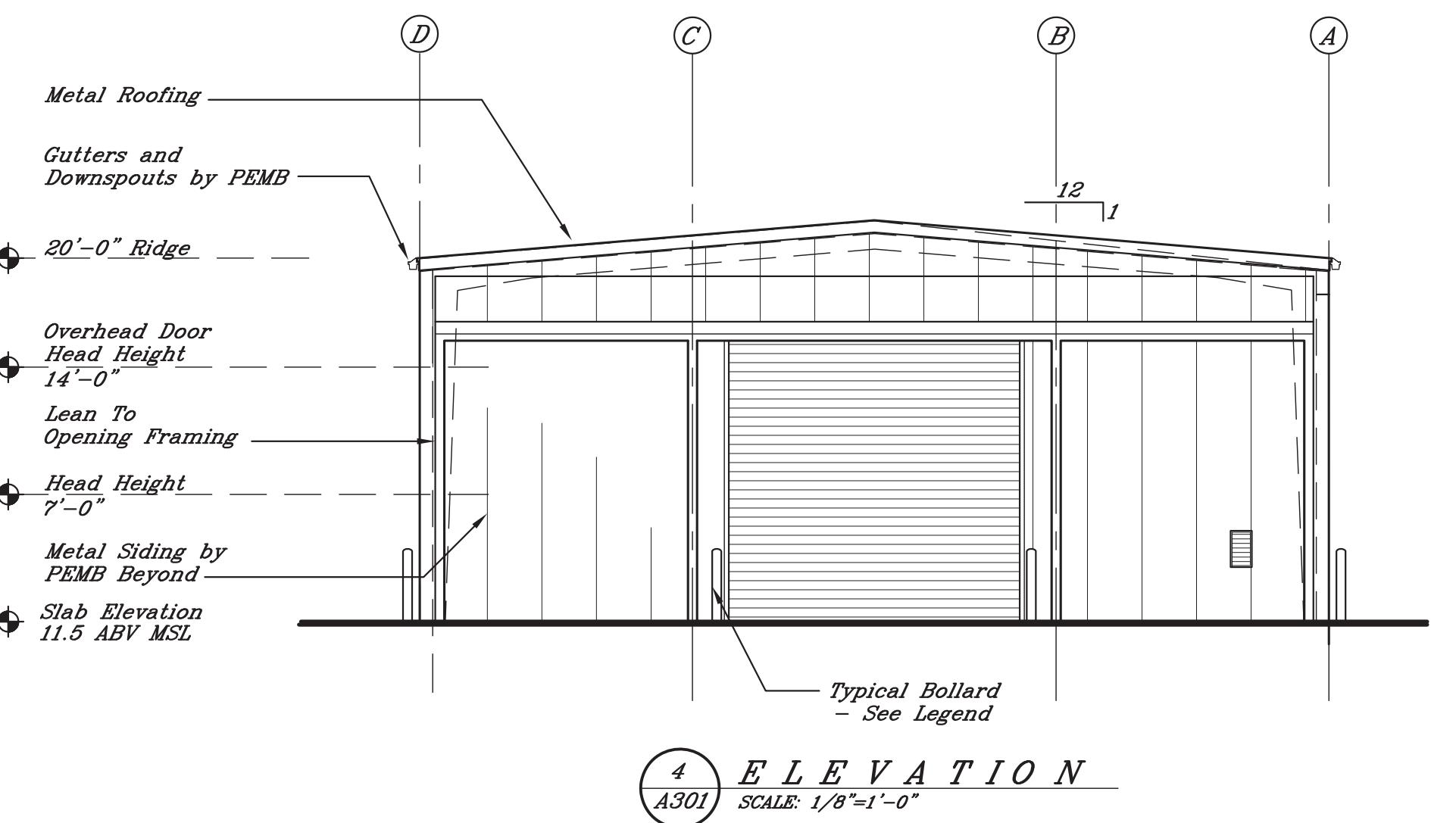
ISSUED FOR CONSTRUCTION

FINISH SCHEDULE															
NO.	Space	Floor	Base	Walls	Cornice	Moulding	Ceiling	Casing							
RM#	Name	Mat.	Fin.	Mat. Type	Mat.	Fin.	Mat. Type	Ht	Mat	Fin.	Mat. Type	Notes			
First Floor															
101	Restroom	LVT	SE	RBR	Cove	Gyp	PT	--	--	9'-0"	Gyp	PT	MU	HM	101
102	Part's Storage	Conc.	SE			Exp	PT	--	--	Varies	Exp	PT	MU	PEMB	102
103	Maintenance Shop	Conc.	SE			Exp	PT	--	--	Varies	Exp	PT	MU	PEMB	103
104	Lean-To	Conc.	SE			Open		--	--	Varies	Exp	PT	MU	PEMB	104
Interior Wall Paint Color: Sherwin Williams Egg Shell- Semi Gloss Color: #SW7005 "PURE WHITE"		Interior Doors & Door Trim: Sherwin Williams Egg Shell- Semi Gloss Color: #SW6247 KRYPTON		Building Exterior: Building Walls- Grey- SW# 6247 KRYPTON Building Trim- Grey- SW# 6247 KRYPTON											
Finish Legend															
ASRO	As Selected By Owner	PT	Paint	RBR	Rubber Base	SE	Seal						Notes		
Conc.	Concrete	SE	Seal	TIFF	Ceramic Or Stone Tile	UF	Unfinished								
Exp	Exposed	Gyp	Gypsum Board	WD	Luxury Vinyl Tile	WD	Wood								

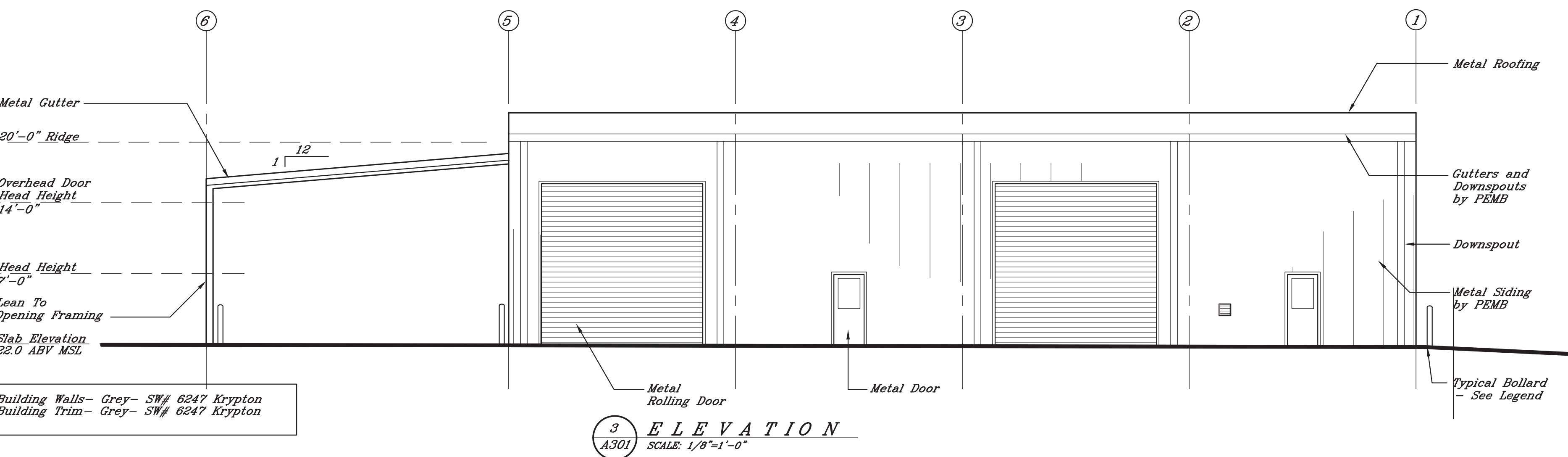


6 A301 FINISH SCHEDULE N.T.S.

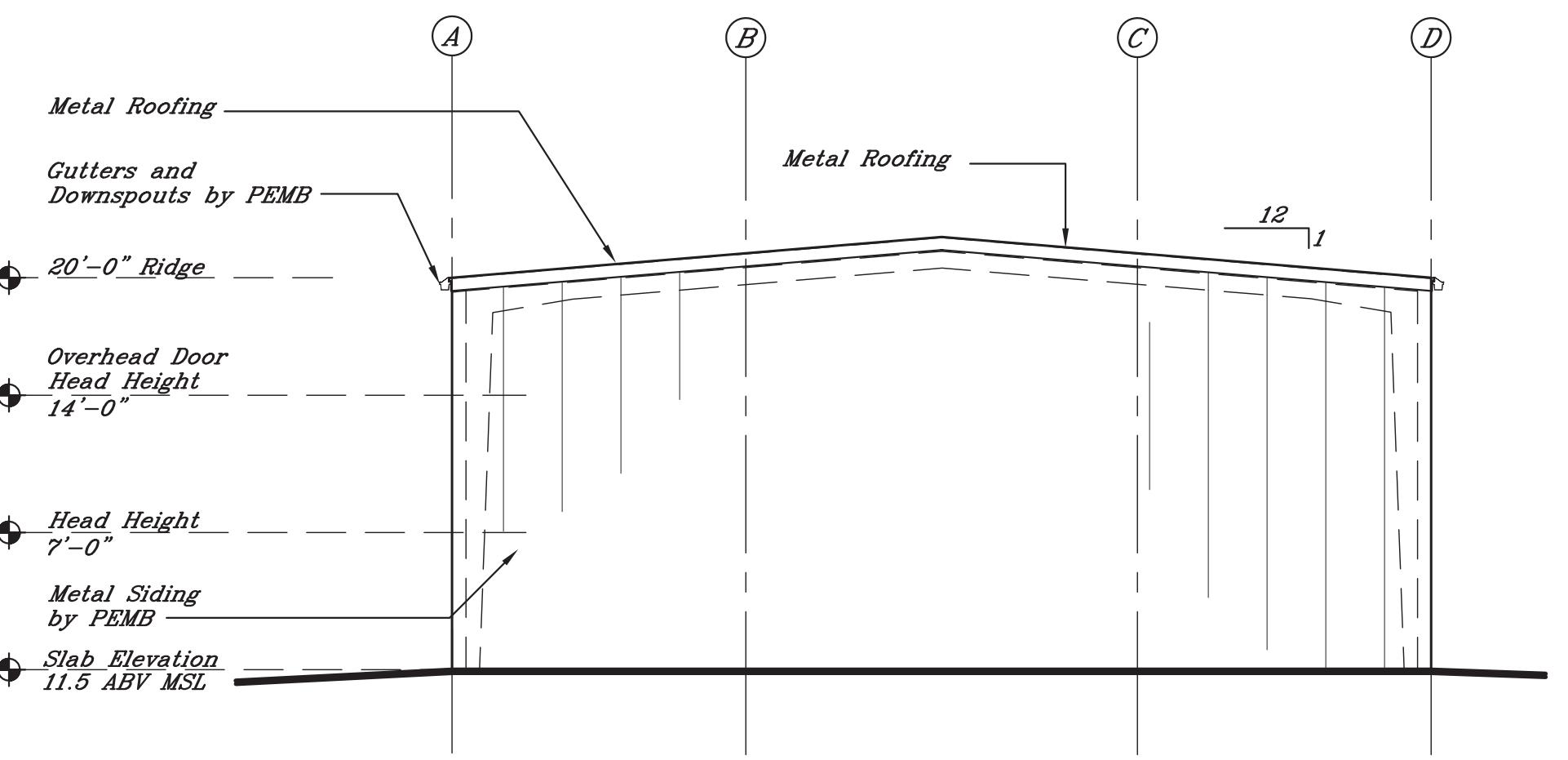
5 A301 SECTION



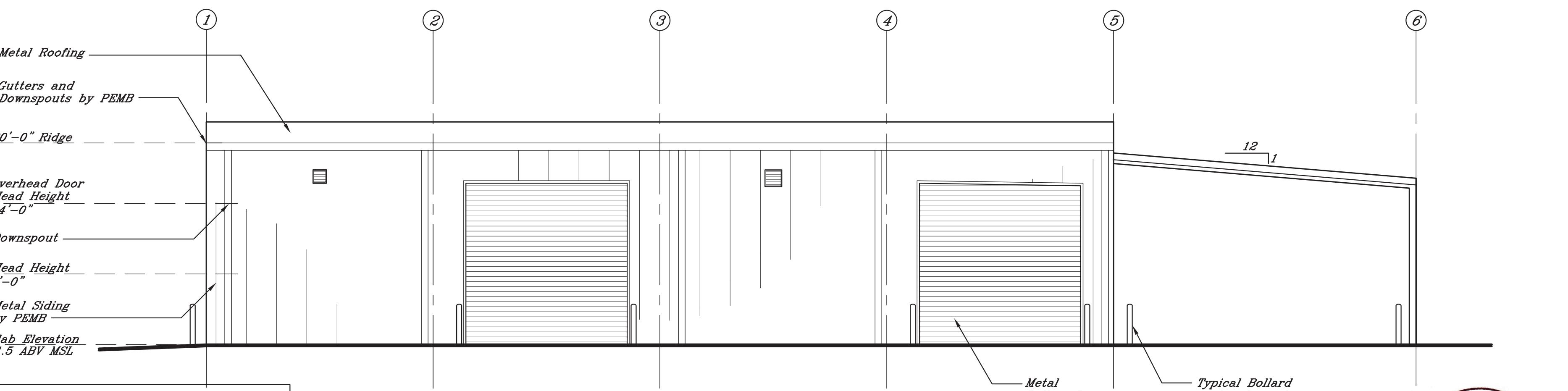
4 A301 ELEVATION 1/8=1'-0"



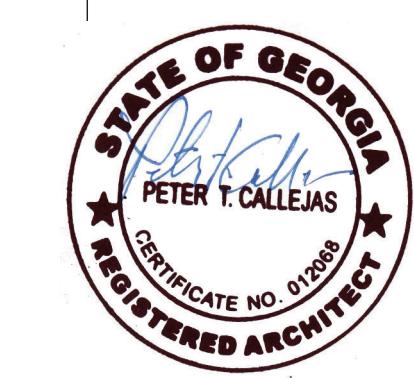
3 A301 ELEVATION 1/8=1'-0"



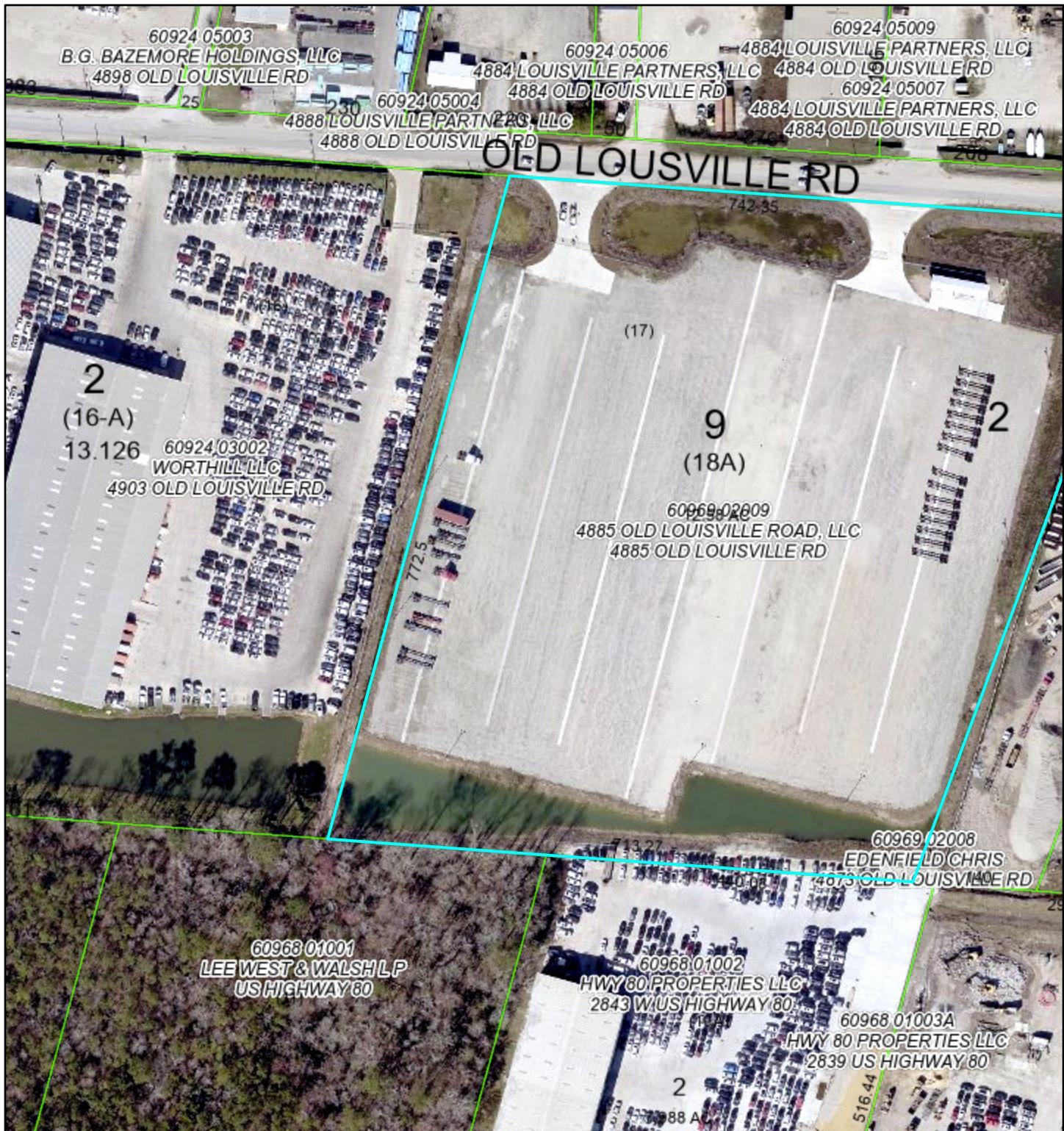
2 A301 ELEVATION 1/8=1'-0"



1 A301 ELEVATION 1/8=1'-0"



PETER T. CALLEJAS
CERTIFICATE NO. 012695
REGISTERED ARCHITECT



10/16/2025, 3:57:05 PM

1.2.257

Owner, PIN and Address Labels

Property Boundaries (Parcels)

SAGIS



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Jonathan Trego, Zoning Administrator
Date: November 5th, 2025
Re: PC-11-25-1143

Application Type	Zoning Map Amendment (Rezoning)
Applicant	Double Gloucester LLC (c/o Anand Morar)
Name of Project	Brampton Townhomes
Property Address	61 & 55 Brampton Road
Parcel ID	60015 03033; 60015 03032
Area of Property	3 acres (development)
Existing Zoning	R-1
Existing Land Use	Residential (Single Family House)
Proposed Zoning	R-I-N
Proposed Land Use	Multi-Family Dwelling
Comp Plan – Future Land Use	Commercial Zoning

GENERAL INFORMATION

Project Description: The applicant wishes to rezone this parcel for the development of multi-family dwellings.

Background / Additional Context: Multi-family development offers benefits over single-family homes, especially in land use and economic viability. Increasing density allows more residents on the same lot, fostering a vibrant community that supports local businesses and boosts foot traffic. These projects often provide affordable housing, attracting diverse populations and enhancing the area's economy.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-201(c), the following factors are to be considered for a rezoning request:

1. *Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?*
-Yes. R-I-N is compatible for the future land use map which indicates all of the parcels in question for this development as part of a commercial corridor.
2. *Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?*
-No, this would not be considered spot zoning.
3. *Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?*
-No. Brampton road though it still does have some R-1 parcels, it is very commercialized, and a major cut through to the ports between 21 and Main St. A townhouse development will not have a significant impact over the existing conditions.
4. *Will this request place irreversible limitations or cause material detriment on the area similarly zoned as it is or on future plans for it?*
-No. This will allow more residential possibilities for future housing, and R-I-N can provide all uses as R-1 while providing additional possibilities.
5. *Is there an imminent need for the rezoning and is the property likely to be used for the use requested?*
-Yes, there is an ongoing need for additional housing within Garden City. Particularly more dense housing. And, a townhome development is exactly what Garden City needs.
6. *Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?*
-No. The proposed zoning is consistent with the zoning and use of the neighborhood.
7. *Such other matters as the Planning Commission deems relevant.*
The Future Land Use Map indicates this area as: "Commercial Redevelopment Corridor," which is compatible with R-I-N zoning.

The Commercial Redevelopment Corridor character areas are highly trafficked and consist primarily of commercial/industrial uses adjacent to highways; however, some residential development is scattered along the highway and on local streets. This character area was established to enhance and reevaluate the quality and compatibility

of development, promote safe and efficient movement of traffic, and reduce impacts on nearby residential properties.

Current Zoning: C-1, C-2, C-2A, I-1, I-2, R-1, R-2

Future Zoning Considerations: While this character area contains a mix of zoning categories

(including residential districts), the majority of these areas are zoned for commercial and industrial uses. The focus of redevelopment in these areas is fairly consistent with the commercial zoning categories; however, the City should explore additional design standards or an overlay district to foster the desired type of redevelopment and future development in the area.

Implementation Measures: Allow uses that reflect the needs of the local and regional Market. Apply strict procedures, standards, and guidelines to all development proposals within this district. Allow for varied housing types and higher density residential development, most notably along main corridor frontage areas. Create an overlay district along redevelopment corridors to encourage redevelopment design strategies, such as creating inviting corners and placing parking behind or beside buildings. Explore and promote an infill development program to encourage new commercial development on vacant lots.

ACTIONS

The Planning Commission shall take one of the following formal actions:

- i. *Recommend approval* of the proposed zoning decision as presented;
- ii. *Recommend approval* of the proposed zoning decision with modifications or conditions;
- iii. *Defer action of the proposed zoning decision* upon motion of the Planning Commission or at the request of the applicant. The applicant may revise the proposal based on the comments at the meeting and resubmit it for formal action at a future meeting; or
- iv. *Recommend denial* of the proposed zoning decision.

RECOMMENDATION

Approve the rezoning request from R-1 to R-I-N

RECOMMENDED MOTION

I move to recommend to City Council the approval of rezoning application PC-11-25-1143.

City of Garden City Agent Authorization Form



Applicant Information

Owner	
Name	Address
Double Gloucester LLC (c/o Anand Morar)	PO BOX 2386 RINCON GA 31326
Phone	Email
912-507-6404	absolutcran3@gmail.com
Development Name (if applicable)	
Brampton Road Townhomes	

I, the undersigned, do hereby certify that I am the owner of the property affected by the proposed application to the Garden City Planning Commission. I/We, the undersigned owner(s) of property involved in this application, do hereby authorize Roberts Civil Engineering to act as Agent for the attached application in my/our behalf.

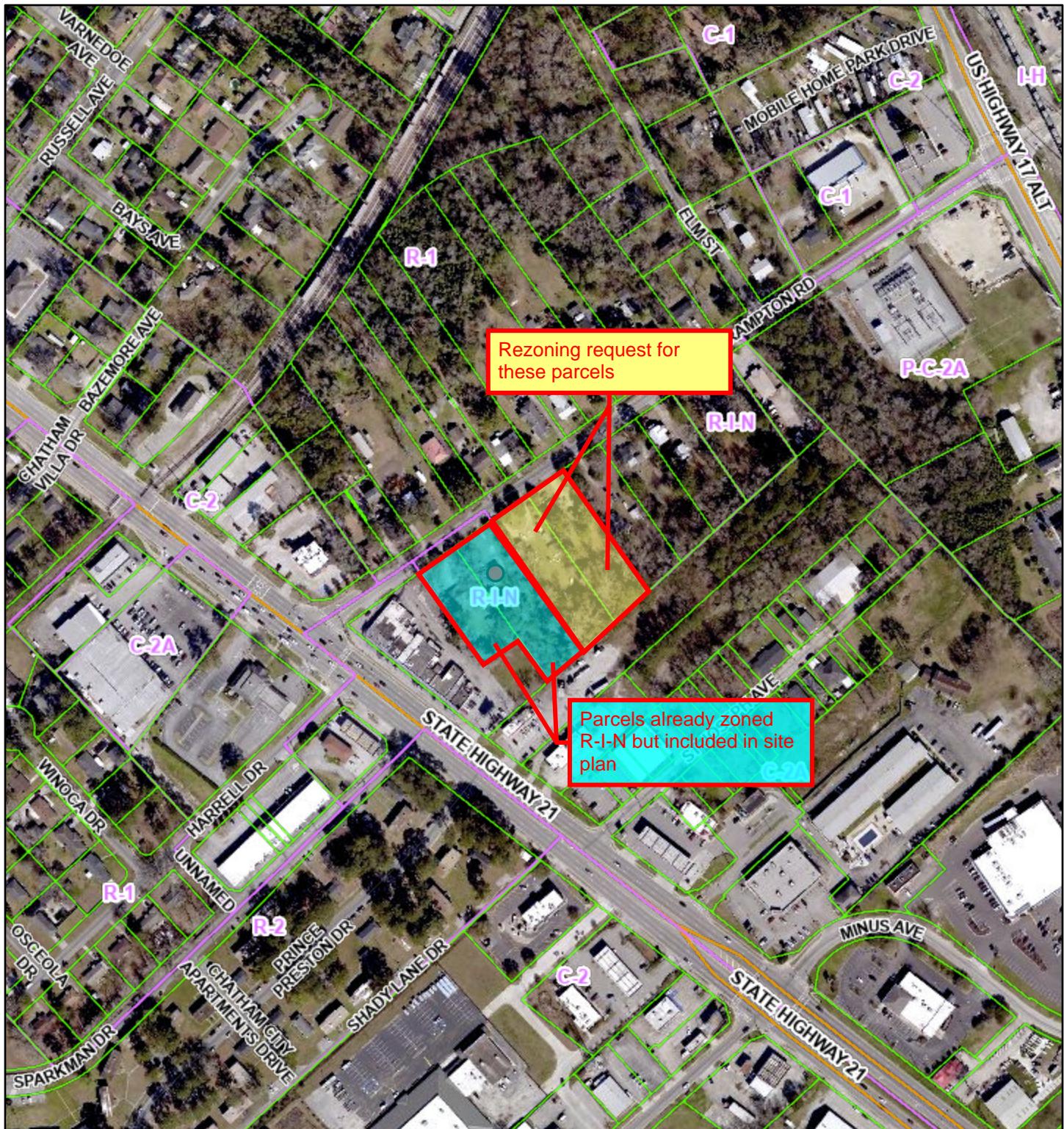
Anand Morar	Anand Morar	2025-08-26
Print Name	Signature	Date
Print Name	Signature	Date
Print Name	Signature	Date

Authorized Agent	
Company Name	Contact (Individual Name)
Roberts Civil Engineering	Kennon Strowd
Phone	Email
912-298-7006	kstrowd@robertscivileengineering.com

I accept this authorization to act as Agent on behalf of the above owner(s).

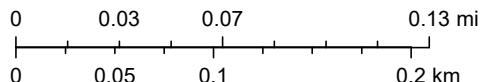
Kennon Strowd	Kennon Strowd	8/20/2025
Print Name	Signature	Date

SAGIS Map Viewer



9/2/2025, 12:47:15 PM

1:4,514



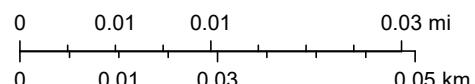
- Local Roads
- Major Roads
- Local Roads
- Zoning
- Property Boundaries (Parcels)

SAGIS



10/16/2025, 3:40:28 PM

1:1,128



Owner, PIN and Address Labels

Property Boundaries (Parcels)



<p>GENERAL NOTES</p> <p>1. INTENDED USE: THE INTENDED USE OF THIS PROPERTY IS TO CONSTRUCT TOWNHOMES WITH ASSOCIATED INFRASTRUCTURE.</p> <p>2. OWNER/DEVELOPER: ANAND MORAR PO BOX 2386 RINCON, GA 31326 912-507-6404 ABSOLUTECRAN3@GMAIL.COM</p> <p>3. PARKING REQUIREMENTS: 1.75 SPACES PER DWELLING UNIT REQUIRED: 60 UNITS X 1.75 SPACES = 105 SPACES PROVIDED: 107 SPACES</p> <p>4. SITE COVERAGE: TOTAL PROJECT AREA: 130,597 SF (3.00 AC)</p> <p>5. DEVELOPMENT STANDARDS: CURRENT ZONE: R-I-N & R-1 PROPOSED ZONE: R-I-N SETBACKS: FRONT YARD: 60 FEET (FROM ROADWAY CENTERLINE) SIDE YARD: 10 FEET REAR YARD: 25 FEET</p> <p>6. PROPOSED UTILITIES: <u>WATER</u>: THE SITE WILL BE SERVICED FROM THE MAIN ON BRAMPTON ROAD. <u>SEWER</u>: THE SITE WILL BE SERVICED TO THE SEWER MAIN ON BRAMPTON ROAD.</p> <p>7. FLOOD ZONE: ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS 13051C0132G DATED 8/16/2018, THE SITE IS LOCATED IN A FLOOD ZONE X.</p> <p>8. REFUSE WILL BE MANAGED BY ONSITE TRASH RECEPTACLE.</p> <p>9. HORIZONTAL DATUM BASED ON NAD83, VERTICAL DATUM IS BASED ON NAVD 88.</p> <p>10. WILL REQUIRE 16 TREE UNITS PER ACRE 3 AC - BUFFER AREA (0.5 AC) = 2.5 AC X 16 = 40 TREES UNITS</p>		<p>NOT RELEASED FOR CONSTRUCTION</p> <table border="1"> <tr> <td>REVISIONS</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table> <p>ROBERTS CIVIL ENGINEERING</p> <p>ST. SIMONS ISLAND SAVANNAH JACKSONVILLE CHARLESTON WWW.ROBERTSCIVILENGINEERING.COM</p> <p>CONCEPTUAL SITE LAYOUT</p> <p>BRAMPTON ROAD TOWNHOMES GARDEN CITY, GA</p> <p>PREPARED FOR: ANAND MORAR</p> <p>DATE: 04/21/25 PROJECT NUMBER: 25503 DRAWN BY: OAG CHECKED BY: CKS SCALE: 1":30' (FOR 24"x36" PLOT)</p> <p>CP</p> <p>SHEET:</p> <p>811 Call before you dig.</p> <p>0' 30' 60' GRAPHIC SCALE 1" = 30'</p>	REVISIONS									
REVISIONS												



MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Jonathan Trego, Zoning Administrator
Date: November 5th, 2025
Re: PC-11-25-1144

Application Type	General Development Plan
Case Number	PC-11-25-1144
Applicant	Anand Morar
Name of Project	Brampton Road Townhomes
Property Address	67, 63, 61, 55 Brampton Road
Parcel IDs	60015 03035, 60015 03034, 60015 03033, 60015 03032
Area of Property	3 acres
Current Zoning	R-I-N (R-1)
Proposed Land Use	(3) Multifamily dwelling: R-2, R-I-N, M.

GENERAL INFORMATION

Project Description: This project features six spacious townhome buildings, parking, and essential infrastructure, offering a vibrant and convenient community environment.

Project Background: These properties have single-family dwellings in a commercial area.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*

Multi-family development offers benefits over single-family homes, especially in land use and economic viability. Increasing density allows more residents on the same lot, fostering a vibrant community that supports local businesses and boosts foot traffic. These projects often provide affordable housing, attracting diverse populations and enhancing the area's economy.

City of Garden City General Development Plan Application



Development Information

Development Name		
Brampton Road Townhomes		
Property Address		
67, 63, 61, 55 Brampton Road, Garden City GA 31408		

Parcel ID	Total Site Acreage	Zoning
60015 03035, 60015 03034, 60015 03033, 60015 03032	3 AC	R-1 & R-I-N

Detailed project description including the character and intended use of the development. Attach additional pages as needed.		
This project consists of 6 Townhome buildings, parking, and infrastructure to support them.		

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private

Existing Conditions		
Is the property located in a flood zone?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the property currently contain any of the following:		
• Existing buildings, streets, or other developed areas	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
• Easements or rights-of-way	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
• Underground storage tanks	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
• Water bodies, wetlands, or similar natural features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
• Specimen trees (see Sec. 90-259)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

Proposed Improvements (See "General Development Plan Checklist" for full requirements)		
Building Area (Square Feet)		
Will the development be phased?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, how many phases?		
Are buffers required? (see Sec. 90-262)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will fencing be provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, what material?		
A façade elevation plan is required.	Building Material(s):	
Building Color(s):		
Any additional details relevant to the application:		

City of Garden City General Development Plan Application



Applicant Information

Owner	
Name	Address
Double Gloucester LLC (c/o Anand Morar)	PO BOX 2386 RINCON GA 31326
Phone	Email
912-507-6404	absolutcran3@gmail.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Roberts Civil Engineering	Kennon Strowd
Phone	Email
912.298.7006	kstrowd@robertscivileengineering.com
Authorized Agent (Requires Authorized Agent Form)	
<input type="checkbox"/> Check here to receive staff review comments via email	
Company Name	Contact (Individual Name)
Roberts Civil Engineering	Kennon Strowd
Phone	Email
912.298.7006	kstrowd@robertscivileengineering.com

I hereby certify that I am the owner or authorized agent for the property included in this development application. The information provided in this application is accurate and complete. I understand that any permit issued based on false or misleading information provided in this or subsequent applications will be null and void and subject to penalty as provided by law and ordinance.

I understand that I will need to attend or be represented by the authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

Anand Morar

Owner/Authorized Agent (Print Name)

Anand Morar

Signature

2025-08-26

Date

This form and all required information must be completed in its entirety before it will be accepted by the City of Garden City. Failure to provide all required information may result in a delay in processing.

OFFICE USE ONLY		
Received By	Date Received	Case Number

2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
-Elevations are provided with this submittal for Planning Commission comments.
3. *Fences, landscaping, and buffers.*
-This submittal features an appropriate buffer, parking islands, and landscaping information.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
1 ¾ parking spaces for each dwelling unit with 2 bedrooms; 2 percent of the total number of parking spaces shall be aside for the handicapped and properly designated. The parking space count and tree islands meet or exceed the requirements standards.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
- No sign presented on plans.

The applicant has provided the required information. Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

ACTIONS

The Planning Commission shall take one of the following formal actions:

- i. *Approve the general development plan as presented;*
- ii. *Approve the general development plan with modifications or conditions.* The Planning Commission may impose conditions and restrictions so long as the intent of the Zoning Ordinance is carried out and the zoning district regulations established herein are not varied so as to make them less restrictive. The Planning Commission shall specifically state the requirements that must be met before an applicant may be granted final site plan approval;
- iii. *Defer action on the general development plan* upon motion of the Planning Commission or at the request of the applicant. The applicant may revise the proposal based on the comments at the meeting and resubmit it for formal action at a future meeting; or
- iv. *Deny the general development plan* based upon the findings that the proposed plan fails to comply with the requirements for approval.

RECOMMENDATION

Approve the General Development Plan.

RECOMMENDED MOTION

I move to **approve** the general development plan for PC-11-25-1144

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.



City of Garden City Agent Authorization Form

Applicant Information

Owner	
Name	Address
Double Gloucester LLC (c/o Anand Morar)	PO BOX 2386 RINCON GA 31326
Phone	Email
912-507-6404	absolutcran3@gmail.com
Development Name (if applicable)	
Brampton Road Townhomes	

I, the undersigned, do hereby certify that I am the owner of the property affected by the proposed application to the Garden City Planning Commission. I/We, the undersigned owner(s) of property involved in this application, do hereby authorize Roberts Civil Engineering to act as Agent for the attached application in my/our behalf.

Anand Morar	Anand Morar	2025-08-26
Print Name	Signature	Date
Print Name	Signature	Date
Print Name	Signature	Date

Authorized Agent	
Company Name	Contact (Individual Name)
Roberts Civil Engineering	Kennon Strowd
Phone	Email
912-298-7006	kstrowd@robertscivileengineering.com

I accept this authorization to act as Agent on behalf of the above owner(s).

Kennon Strowd	Kennon Strowd	8/20/2025
Print Name	Signature	Date

CERTIFICATE *of* SIGNATURE

REF. NUMBER
YGXQK-Z22BA-9666F-VHABQ

DOCUMENT COMPLETED BY ALL PARTIES ON
26 AUG 2025 20:10:00 UTC

SIGNER	TIMESTAMP	SIGNATURE
ANAND MORAR EMAIL ABSOLUTCRAN3@GMAIL.COM SHARED VIA LINK	SENT 26 AUG 2025 19:35:22 UTC VIEWED 26 AUG 2025 20:02:34 UTC SIGNED 26 AUG 2025 20:10:00 UTC	 IP ADDRESS 71.228.138.80 LOCATION RINCON, UNITED STATES



City of Garden City General Development Plan Checklist



The following items are required for a complete submittal by identifying the sheet number (**do not use check marks**) and note number, if applicable. For information that does not apply, indicate as such as 'NA.'

	Sheet	Note #
GENERAL INFORMATION		
1 Name of project and name of owner of the property	SP	
2 Names of project planner and developer and contact information	SP	
3 North arrow and graphic scale	SP	
4 Date, including all revision dates	SP	
5 General location map	SP	
6 Total area and development area in acres	SP	
7 Zoning District and any zoning variances or conditions	SP	
8 Zoning of contiguous properties and existing uses on contiguous property	SP	
EXISTING CONDITIONS		
9 Flood zone boundary lines	NA	
Existing easement locations and uses including the holder of the easement and any restrictions imposed by the easement	SP	
10 Location of any existing underground storage tanks	NA	
11 Required yards (building setbacks)	SP	
12 Existing streets, buildings, water bodies, wetlands, and other natural features	SP	
13 Existing water lines, sewer lines/septic fields, and fire hydrants	SP	
14 Existing storm water drainage structures	SP	
PROPOSED IMPROVEMENTS		
15 Proposed stormwater management facilities	SP	
16 Locations, dimensions, building area, and uses of all proposed buildings and structures.	SP	
17 Location of any proposed underground storage tanks	NA	
18 Proposed easement locations and uses including the holder of the easement and any restrictions imposed by the easement	SP	
19 Curb cuts, vehicular access and circulation	SP	
20 Pedestrian and other types of circulation	SP	
21 Off street parking and loading areas	SP	
22 Recreation areas	SP	
23 Buffer dimension and composition, including fencing and landscape	SP	
24 Refuse collections areas	SP	

City of Garden City General Development Plan Checklist

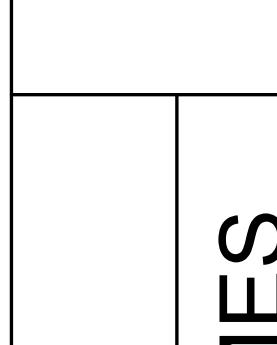


		Sheet	Note #
25	Project phasing, if applicable	NA	
26	Tree protection and replacement plan, including identification of specimen trees	FC	
27	Scale, design, and location of exterior signs	NA	

Other required information that may be presented separately or on the General Development Plan

		Sheet	Note #
1	Tabulation of the project density in dwelling units per net acre, if applicable	SP	
2	Tabulation of the number of required parking and loading spaces, required and proposed	SP	
3	A statement describing the character and intended use of the development	SP	
4	If common facilities, such as recreation areas, private streets, and common open spaces are to be provided, statements as to how they will be provided and maintained shall be submitted.	SP	
5	Façade elevation plan, indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches and balconies; the architectural style or structure and the facade architectural treatment.	Y	



<p>GENERAL NOTES</p> <p>1. INTENDED USE: THE INTENDED USE OF THIS PROPERTY IS TO CONSTRUCT TOWNHOMES WITH ASSOCIATED INFRASTRUCTURE.</p> <p>2. OWNER/DEVELOPER: ANAND MORAR PO BOX 2386 RINCON, GA 31326 912-507-6404 ABSOLUTECRAN3@GMAIL.COM</p> <p>3. PARKING REQUIREMENTS: 1.75 SPACES PER DWELLING UNIT REQUIRED: 60 UNITS X 1.75 SPACES = 105 SPACES PROVIDED: 107 SPACES</p> <p>4. SITE COVERAGE: TOTAL PROJECT AREA: 130,597 SF (3.00 AC)</p> <p>5. DEVELOPMENT STANDARDS: CURRENT ZONE: R-I-N & R-1 PROPOSED ZONE: R-I-N SETBACKS: FRONT YARD: 60 FEET (FROM ROADWAY CENTERLINE) SIDE YARD: 10 FEET REAR YARD: 25 FEET</p> <p>6. PROPOSED UTILITIES: <u>WATER</u>: THE SITE WILL BE SERVICED FROM THE MAIN ON BRAMPTON ROAD. <u>SEWER</u>: THE SITE WILL BE SERVICED TO THE SEWER MAIN ON BRAMPTON ROAD.</p> <p>7. FLOOD ZONE: ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS 13051C0132G DATED 8/16/2018, THE SITE IS LOCATED IN A FLOOD ZONE X.</p> <p>8. REFUSE WILL BE MANAGED BY ONSITE TRASH RECEPTACLE.</p> <p>9. HORIZONTAL DATUM BASED ON NAD83, VERTICAL DATUM IS BASED ON NAVD 88.</p> <p>10. WILL REQUIRE 16 TREE UNITS PER ACRE 3 AC - BUFFER AREA (0.5 AC) = 2.5 AC X 16 = 40 TREES UNITS</p>		<p>NOT RELEASED FOR CONSTRUCTION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">REVISIONS</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table> <div style="text-align: right; margin-top: 10px;">  <p>ROBERTS CIVIL ENGINEERING</p> <p>ST. SIMONS ISLAND SAVANNAH JACKSONVILLE CHARLESTON WWW.ROBERTSCIVILENGINEERING.COM</p> </div> <div style="text-align: center; margin-top: 20px;"> <p>CONCEPTUAL SITE LAYOUT</p> <p>BRAMPTON ROAD TOWNHOMES</p> <p>GARDEN CITY, GA</p> <p>PREPARED FOR: ANAND MORAR</p> </div> <div style="text-align: right; margin-top: 10px;"> <p>DATE: 04/21/25</p> <p>PROJECT NUMBER: 25503</p> <p>DRAWN BY: OAG</p> <p>CHECKED BY: CKS</p> <p>SCALE: 1":30' (FOR 24"x36" PLOT)</p> </div> <div style="text-align: center; margin-top: 10px;"> <p>CP</p> <p>SHEET:</p> </div> <div style="text-align: center; margin-top: 10px;"> <p>811</p> <p>Call before you dig.</p> <p>Now what's below.</p> </div> <div style="text-align: center; margin-top: 10px;"> <p>0' 30' 60'</p> <p>GRAPHIC SCALE</p> <p>1" = 30'</p> </div> <div style="text-align: center; margin-top: 10px;"> <p>LEGEND</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%; text-align: center;">PROPOSED ASPHALT PAVEMENT</td> <td style="width: 20%; text-align: center;">PROPOSED CONCRETE</td> <td style="width: 20%; text-align: center;">PROPOSED BUILDING</td> <td style="width: 20%; text-align: center;">BUFFER ZONES</td> <td style="width: 20%; text-align: center;">PERVERIOUS AREA</td> </tr> </table> </div>		REVISIONS									PROPOSED ASPHALT PAVEMENT	PROPOSED CONCRETE	PROPOSED BUILDING	BUFFER ZONES	PERVERIOUS AREA
REVISIONS																	
PROPOSED ASPHALT PAVEMENT	PROPOSED CONCRETE	PROPOSED BUILDING	BUFFER ZONES	PERVERIOUS AREA													

No.	Date	Description
1	xxx	xxx
2		

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FRONT ELEVATION - 8 UNIT LAYOUT

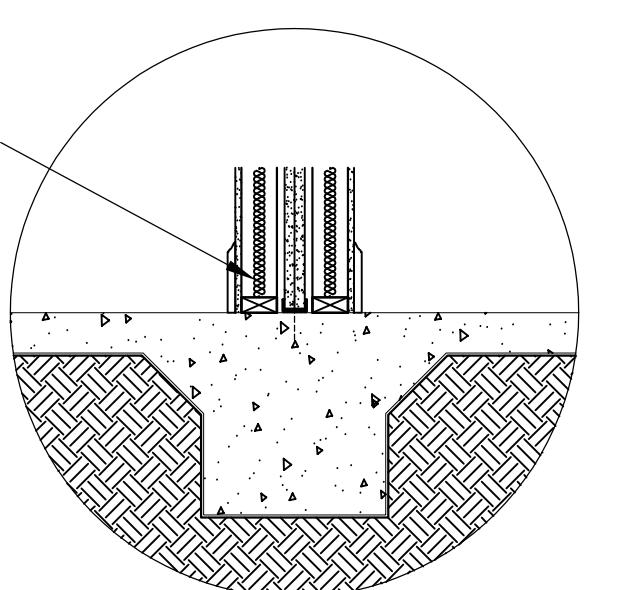
24" X 36" ---SCALE: 1/4" = 1'-0"
11" X 17" ---SCALE: 1/8" = 1'-0"



RIGHT ELEVATION - 8 UNIT LAYOUT

24" X 36" ---SCALE: 1/4" = 1'-0"
11" X 17" ---SCALE: 1/8" = 1'-0"

2 HOUR RATED DEMISING WALL - UL
DESIGN U336



PARTY WALL DETAIL
DESIGN NO. U336

GENERAL NOTES:

- ALL CONSTRUCTION MUST COMPLY WITH THE 2018 IRC.
- ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE NATIONAL ELECTRIC CODE EDITION AND STATE OF GEORGIA AMENDMENTS.
- ALL PLUMBING INSTALLATIONS MUST COMPLY WITH THE INTERNATIONAL PLUMBING CODE EDITION AND STATE OF GEORGIA AMENDMENTS.
- ALL HVAC INSTALLATIONS MUST COMPLY WITH THE INTERNATIONAL MECHANICAL INTERNATIONAL FUEL GAS CODE EDITIONS AND STATE OF GEORGIA AMENDMENTS.
- CONSTRUCTION DRAWINGS ILLUSTRATE GENERIC OPTIONS AS OFFERED BY THE HOMEBUILDER.
- REFER TO THE MOST CURRENTLY DATED SELECTION PACKAGE FOR MORE INFORMATION, INCLUDING INTERIOR AND EXTERIOR COLORS, LIGHT FIXTURES, PLUMBING FIXTURES, VENEER SECTIONS, TRIM OPTIONS, DOOR HARDWARE, ETC.
- PROVIDE ANCHORS FOR COLUMNS AS REQUIRED. PROVIDE POST CLEATS FOR PORCH POSTS AS REQUIRED.
- ALL OVERHANGS SHALL BE 12" UNLESS NOTED OTHERWISE.
- WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQUIRED TO LINE UP FASCIAS AT A MINIMUM OF A 12" OVERHANG.
- PROVIDE FOOTINGS AND SUPPORT FOR STEPS TO GRADE AS REQUIRED (IF APPLICABLE).
- ALL WINDOW HEADER HEIGHTS SHALL BE 6'-8" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- BRICK VENEER SHALL INCLUDE SOLDIER HEADER AND ROWLOCK SILL AT EACH OPENING.
- ALL INSULATIONS MUST COMPLY WITH THE GEORGIA STATE ENERGY CODE AND STATE OF GEORGIA AMENDMENTS.
- SPRAY FOAM HOUSE WILL ONLY HAVE 100 SQUARE FEET OF DECKING FOR STORAGE AND MECHANICAL.
- THE CEILING OF THE GARAGE SHALL BE MINIMUM 5/8 INCH TYPE 'X' GYPSUM BOARD WHERE THE HABITABLE SPACES ARE LOCATED ABOVE THE GARAGE. ALL PENETRATIONS SHALL BE PROTECTED BY FILLING ALL OPENINGS AROUND THE PENETRATING ITEM WITH APPROVED MATERIALS TO RESIST THE FREE PASSAGE OF FLAME AND SMOKE.

Avalon Apartments
2 BEDROOM
8 UNIT BUILDING

NORTH AVALON DRIVE
CHATHAM COUNTY, GA

Sheet Title:
Front & Right
Elevations

Sheet Number:
A-2

Drawn By:
JF

No.	Date	Description
1	xxx	xxx
2		

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or used in any manner without the written permission of
FDConcepts.



REAR ELEVATION - 8 UNIT LAYOUT

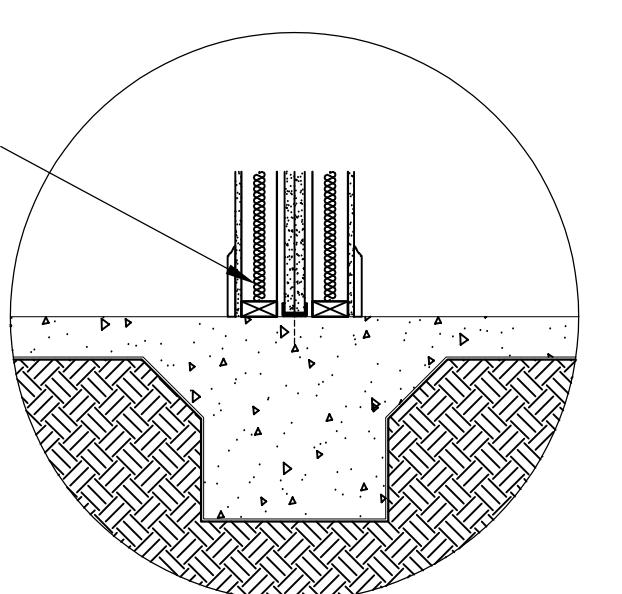
24" X 36" ---SCALE: 1/4" = 1'-0"
11" X 17" ---SCALE: 1/8" = 1'-0"



LEFT ELEVATION - 8 UNIT LAYOUT

24" X 36" ---SCALE: 1/4" = 1'-0"
11" X 17" ---SCALE: 1/8" = 1'-0"

PARTY WALL DETAIL
DESIGN NO. U336



GENERAL NOTES:

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- PROVIDE ANCHORS FOR COLUMNS AS REQUIRED. PROVIDE POST CLEATS FOR PORCH POSTS AS REQUIRED.
- ALL OVERHANGS SHALL BE 12" UNLESS NOTED OTHERWISE.
- WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQUIRED TO LINE UP FASCIAS AT A MINIMUM OF A 12" OVERHANG.
- PROVIDE FOOTINGS AND SUPPORT FOR STEPS TO GRADE AS REQUIRED (IF APPLICABLE).
- ALL WINDOW HEADER HEIGHTS SHALL BE 6'-8" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- BRICK VENEER SHALL INCLUDE SOLDIER HEADER AND ROWLOCK SILL AT EACH OPENING.
- ALL INSULATIONS MUST COMPLY WITH THE GEORGIA STATE ENERGY CODE AND STATE OF GEORGIA AMENDMENTS.
- SPRAY FOAM HOUSE WILL ONLY HAVE 100 SQUARE FEET OF DECKING FOR STORAGE AND MECHANICAL.
- THE CEILING OF THE GARAGE SHALL BE MINIMUM 5/8 INCH TYPE 'X' GYPSUM BOARD WHERE THE HABITABLE SPACES ARE LOCATED ABOVE THE GARAGE. ALL PENETRATIONS SHALL BE PROTECTED BY FILLING ALL OPENINGS AROUND THE PENETRATING ITEM WITH APPROVED MATERIALS TO RESIST THE FREE PASSAGE OF FLAME AND SMOKE.

Avalon Apartments
2 BEDROOM
8 UNIT BUILDING

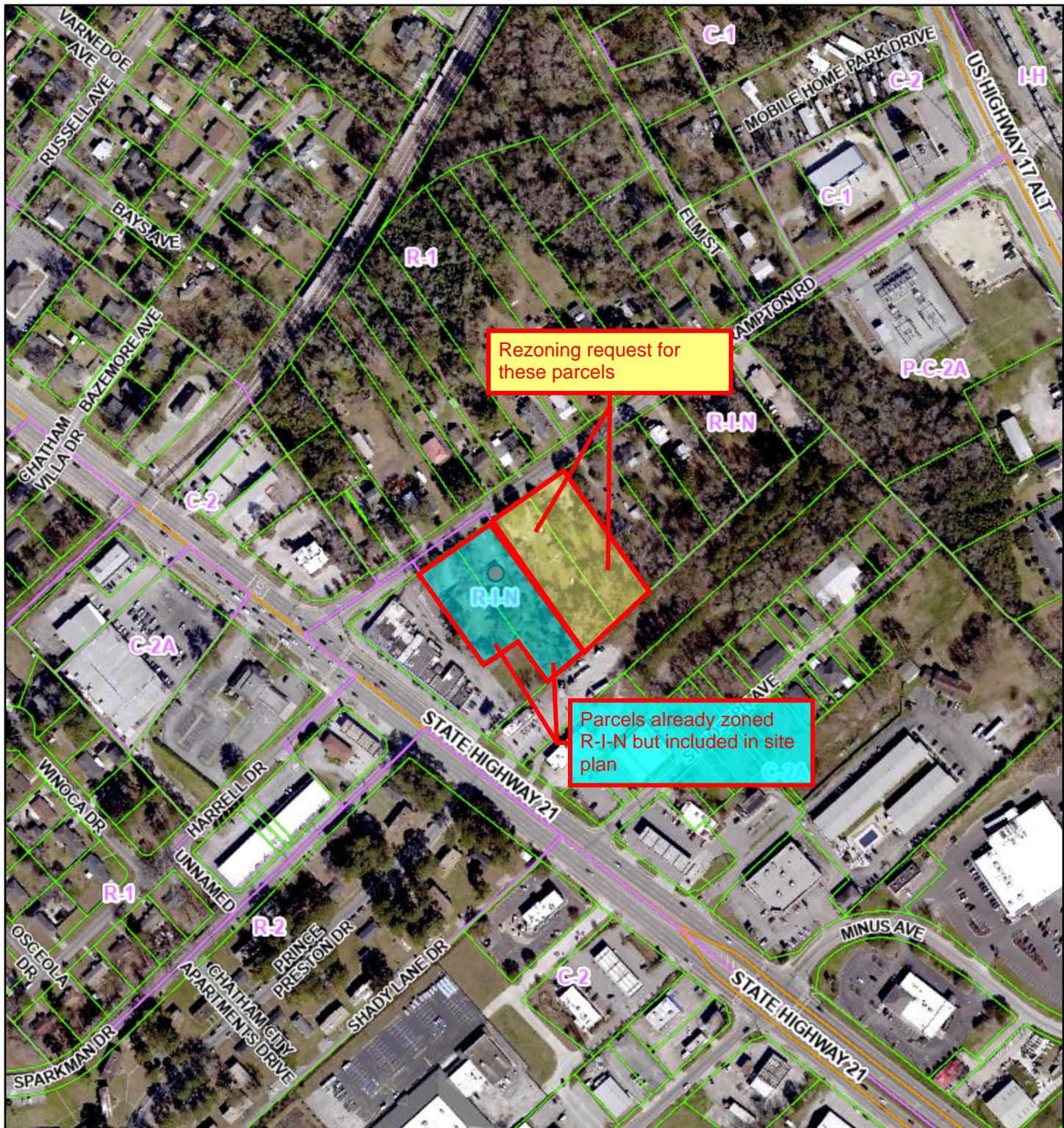
NORTH AVALON DRIVE
CHATHAM COUNTY, GA

Sheet Title:
Rear & Left
Elevations

Sheet Number:
A-3

Drawn By:
JF

SAGIS Map Viewer



9/2/2025, 12:47:15 PM

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0 0.05 0.1 0.2 km

SAGIS



10/16/2025, 3:40:28 PM

1:1,128

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0 0.01 0.01 0.03 0.05 km

Owner, PIN and Address Labels

Property Boundaries (Parcels)



GARDEN CITY

PLANNING &
ECONOMIC DEVELOPMENT

MEMORANDUM

To: Garden City Planning Commission & Board of Appeals
From: Jonathan Trego, Zoning Administrator
Date: October 9, 2025
Re: PC-11-25-1145

Application Type	General Development Plan
Case Number	PC-11-25-1145
Applicant	Maijosh Giraut
Name of Project	The Grove On Augusta Road
Property Address	4710 Augusta Road
Parcel IDs	60013 04008
Area of Property	0.64
Current Zoning	C-2
Proposed Land Use	Office Space Commercial- (52) Personal service shops

GENERAL INFORMATION

Project Description: The applicant wishes to redevelop the property from a single-family dwelling into two retail/office space buildings to accommodate multiple tenants.

Project Background: The development will turn the former K&J Childcare Palace into a modern retail space, taking advantage of its prime location opposite the Davis, Edwards, Harris Educational Complex. This position places the property at the heart of Garden City's largest education and sports hub, serving 2,400 students with a football stadium, athletic fields, and a 750-seat auditorium.

FINDINGS

Staff has determined this application is complete and contains all required information. In conformance with the City of Garden City Zoning Ordinance Section 90-48, the following factors are to be considered for a General Development Plan review:

1. *Proposed uses and overall development plan*
-The concept plan meets all standards, pending stormwater engineering review. Parking concerns for retail lead to limiting the project to office space only. Dental offices and professional offices would be a good fit.

2. *Façade elevation plan indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches, and balconies; architectural style or structure and the facade architectural treatment.*
-Elevations are provided with this submittal for Planning Commission comments.
3. *Fences, landscaping, and buffers.*
-This submittal features an appropriate buffer, parking islands, and landscaping information.
4. *Driveway and parking orientation, in keeping with the established character in the area.*
-Parking space requirements based on max employees per shift (1 parking space per 2 employee slots per shift.) Parking space count and tree islands meet or exceed required standards.
5. *Scale, design, and location of exterior signs. Special sign restrictions may be required based on the location and character of the development and surrounding area.*
- The sign permit process will be followed once the sign design is finalized.

The applicant has provided the required information. Any signage shall comply with the City of Garden City ordinances and will require a sign permit.

ACTIONS

The Planning Commission shall take one of the following formal actions:

- i. *Approve the general development plan as presented;*
- ii. *Approve the general development plan with modifications or conditions.* The Planning Commission may impose conditions and restrictions so long as the intent of the Zoning Ordinance is carried out and the zoning district regulations established herein are not varied so as to make them less restrictive. The Planning Commission shall specifically state the requirements that must be met before an applicant may be granted final site plan approval;
- iii. *Defer action on the general development plan* upon motion of the Planning Commission or at the request of the applicant. The applicant may revise the proposal based on the comments at the meeting and resubmit it for formal action at a future meeting; or
- iv. *Deny the general development plan* based upon the findings that the proposed plan fails to comply with the requirements for approval.

RECOMMENDATION

Approve the General Development Plan.

RECOMMENDED MOTION

I move to **approve** the general development plan for PC-11-25-1145

Note:

Approval, if granted, by the Planning Commission only constitutes the initial step in the overall process and additional requirements still must be met prior to commencement of any construction activities. The Petitioner should note that final approval of the site plan will require City staff approval of the detailed engineering plans for the project through the City's standard process and a Land Disturbance Activity (LDA) Permit must be issued prior to construction. The Petitioner should also note that final approval of the site architectural plans will require City staff approval via its standard process and a building permit must be issued before vertical construction shall commence.

City of Garden City General Development Plan Application



Development Information

Development Name		
The Grove on Augusta Road		
Property Address		
4710 Augusta Road, Garden City GA 31408		

Parcel ID	Total Site Acreage	Zoning
60013 04008	0.64	C-2

Detailed project description including the character and intended use of the development. Attach additional pages as needed.	
See sheet G000 attached for project description.	

Water Supply	Sewage Disposal
<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private
Existing Conditions	
Is the property located in a flood zone?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Does the property currently contain any of the following:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Proposed Improvements (See "General Development Plan Checklist" for full requirements)		
Building Area (Square Feet) 5,000 SF (5 X 1000 SF)		
Will the development be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, how many phases?
Are buffers required? (see Sec. 90-262)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Will fencing be provided?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, what material? Wood fence, similar to existing
A façade elevation plan is required.	Building Material(s): Brick and aluminum storefronts	
Building Color(s): Natural brick color, anodized aluminum storefronts		
Any additional details relevant to the application:		

City of Garden City General Development Plan Application



Applicant Information

Owner	
Name	Address
Patrick Hanlon	203 Lakeview Drive, Pooler GA 31322
Phone	Email
912-513-8744	Patrick@HomebuyersofSavannah.com
Engineer/Surveyor	<input type="checkbox"/> Same as authorized agent <input type="checkbox"/> Check here to receive staff review comments via email
Company Name	Contact (Individual Name)
Durand Land Surveying, Inc.	Peter Durand
Phone	Email
912-399-2720	pd@durandlandsurveying.com
Authorized Agent (Requires Authorized Agent Form)	
Company Name	<input type="checkbox"/> Check here to receive staff review comments via email
Architecture 101	Contact (Individual Name)
Maijosh (MJ) Giraut	
Phone	Email
912-674-3945	MJ@a101.design

I hereby certify that I am the owner or authorized agent for the property included in this development application. The information provided in this application is accurate and complete. I understand that any permit issued based on false or misleading information provided in this or subsequent applications will be null and void and subject to penalty as provided by law and ordinance.

I understand that I will need to attend or be represented by the authorized agent at the meeting of the Planning Commission and that my application cannot be approved unless I am represented.

MAIJOSH GIRAUT

Owner/Authorized Agent (Print Name)

Signature

09.30.2025

Date

This form and all required information must be completed in its entirety before it will be accepted by the City of Garden City. Failure to provide all required information may result in a delay in processing.

OFFICE USE ONLY

Received By	Date Received	Case Number

City of Garden City Agent Authorization Form

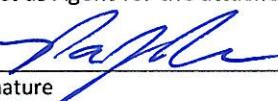


Applicant Information

Owner	
Name	Address
HOME BUYERS OF SAVANNAH LLC	203 LAKEVIEW DR, FOOLER, GA 31322
Phone	Email
912-513-8744	PATRICK@HOMEBUYERSOFSAVANNAH.COM
Development Name (if applicable)	

I, the undersigned, do hereby certify that I am the owner of the property affected by the proposed application to the Garden City Planning Commission. I/We, the undersigned owner(s) of property involved in this application, do hereby authorize ARCHITECTURE 101 to act as Agent for the attached application in my/our behalf.

PATRICK HANLON
Print Name


Signature

28 AUG 2025
Date

Print Name

Signature

Date

Print Name

Signature

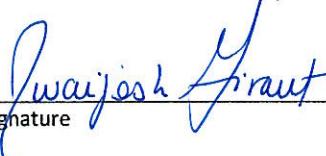
Date

Authorized Agent

Company Name	Contact (Individual Name)
ARCHITECTURE 101	MAIJOSH (M.) GIRAUT
Phone	Email
912.674.3945	MJ@A101.DESIGN.

I accept this authorization to act as Agent on behalf of the above owner(s).

MAIJOSH GIRAUT
Print Name


Signature

8/28/25
Date

City of Garden City General Development Plan Checklist



The following items are required for a complete submittal by identifying the sheet number (**do not use check marks**) and note number, if applicable. For information that does not apply, indicate as such as 'NA.'

	Sheet	Note #
GENERAL INFORMATION	G000	
1 Name of project and name of owner of the property	G000	
2 Names of project planner and developer and contact information	G000	
3 North arrow and graphic scale	SP100/1	
4 Date, including all revision dates	G000	
5 General location map	G000	
6 Total area and development area in acres	G000	
7 Zoning District and any zoning variances or conditions	G000	
8 Zoning of contiguous properties and existing uses on contiguous property	SP100/1	
EXISTING CONDITIONS		
9 Flood zone boundary lines	G000	
Existing easement locations and uses including the holder of the easement and any restrictions imposed by the easement	SP100	
10 Location of any existing underground storage tanks	N/A	
11 Required yards (building setbacks)	SP100/1	
12 Existing streets, buildings, water bodies, wetlands, and other natural features	SP100	
13 Existing water lines, sewer lines/septic fields, and fire hydrants	SP100/1	
14 Existing storm water drainage structures	SP100/1	
PROPOSED IMPROVEMENTS		
15 Proposed stormwater management facilities	SP101	
16 Locations, dimensions, building area, and uses of all proposed buildings and structures.	SP101	
17 Location of any proposed underground storage tanks	N/A	
18 Proposed easement locations and uses including the holder of the easement and any restrictions imposed by the easement	SP100/1	
19 Curb cuts, vehicular access and circulation	SP101	
20 Pedestrian and other types of circulation	SP101	
21 Off street parking and loading areas	SP101	
22 Recreation areas	N/A	
23 Buffer dimension and composition, including fencing and landscape	SP101	
24 Refuse collections areas	SP101	

City of Garden City General Development Plan Checklist



		Sheet	Note #
25	Project phasing, if applicable		N/A
26	Tree protection and replacement plan, including identification of specimen trees	SP100	
27	Scale, design, and location of exterior signs	A201	

Other required information that may be presented separately or on the General Development Plan

		Sheet	Note #
1	Tabulation of the project density in dwelling units per net acre, if applicable		N/A
2	Tabulation of the number of required parking and loading spaces, required and proposed	SP101	
3	A statement describing the character and intended use of the development	G000	
4	If common facilities, such as recreation areas, private streets, and common open spaces are to be provided, statements as to how they will be provided and maintained shall be submitted.		N/A
5	Façade elevation plan, indicating building orientation and scale; exterior construction materials, including texture and color; roof shape, window and door openings, porches and balconies; the architectural style or structure and the facade architectural treatment.	A200	

THE GROVE on Augusta RD

4710 AUGUSTA RD, GARDEN CITY , GA 31408

PROJECT DESCRIPTION

The proposed development at 4710 Augusta Road, Garden City, Georgia involves the complete demolition of existing structures on the 0.64-acre commercial property and the construction of a new 5,000 square foot retail building designed to accommodate multiple tenants.

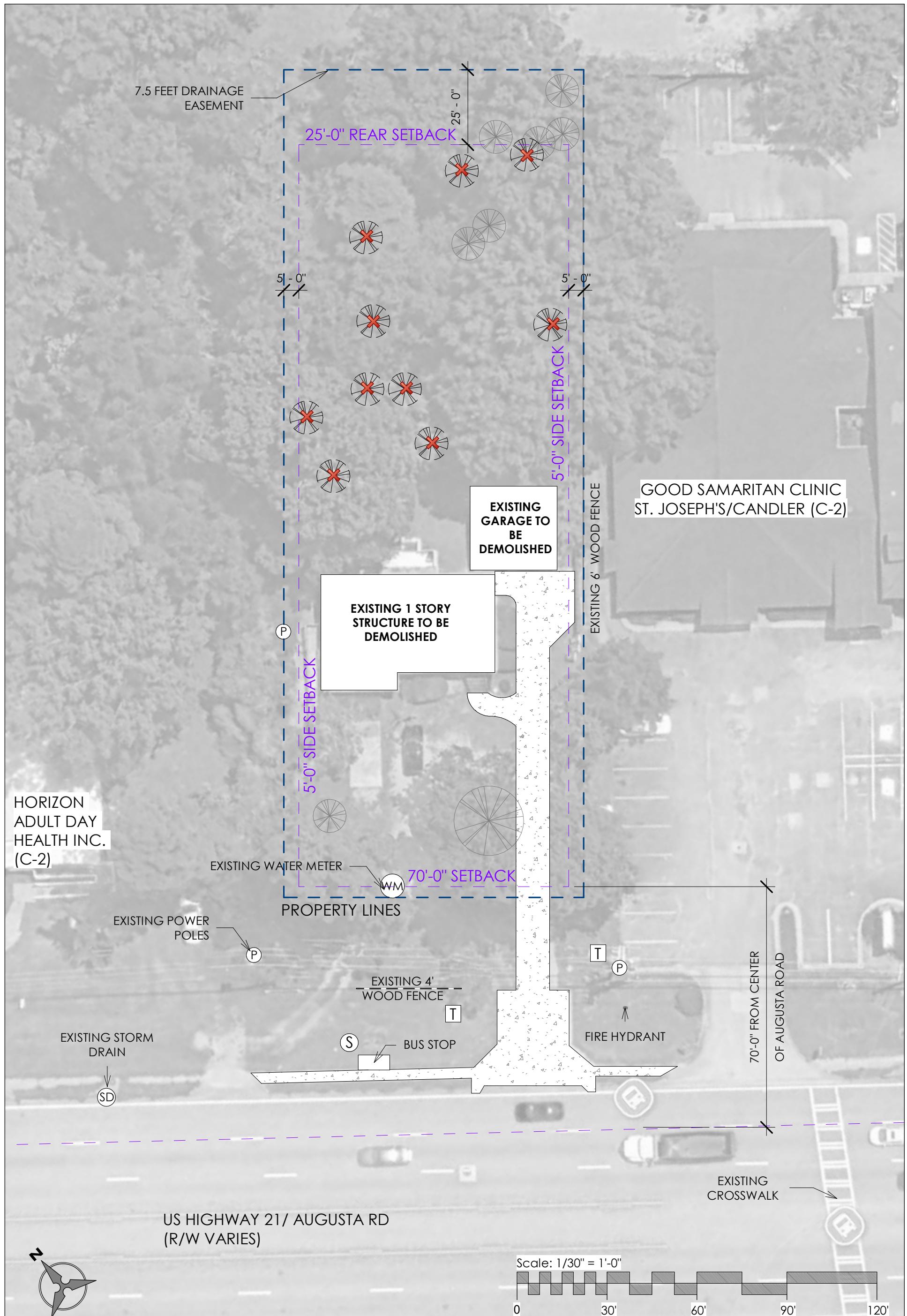
The development will transform the current site, which previously operated as K&J Childcare Palace, into a modern retail facility that capitalizes on its exceptional location directly across from the Davis, Edwards, Harris Educational Complex. This strategic positioning places the property at the heart of Garden City's largest education and sports complex, which serves 2,400 students with facilities including a football stadium, athletic fields, and a 750-seat auditorium.

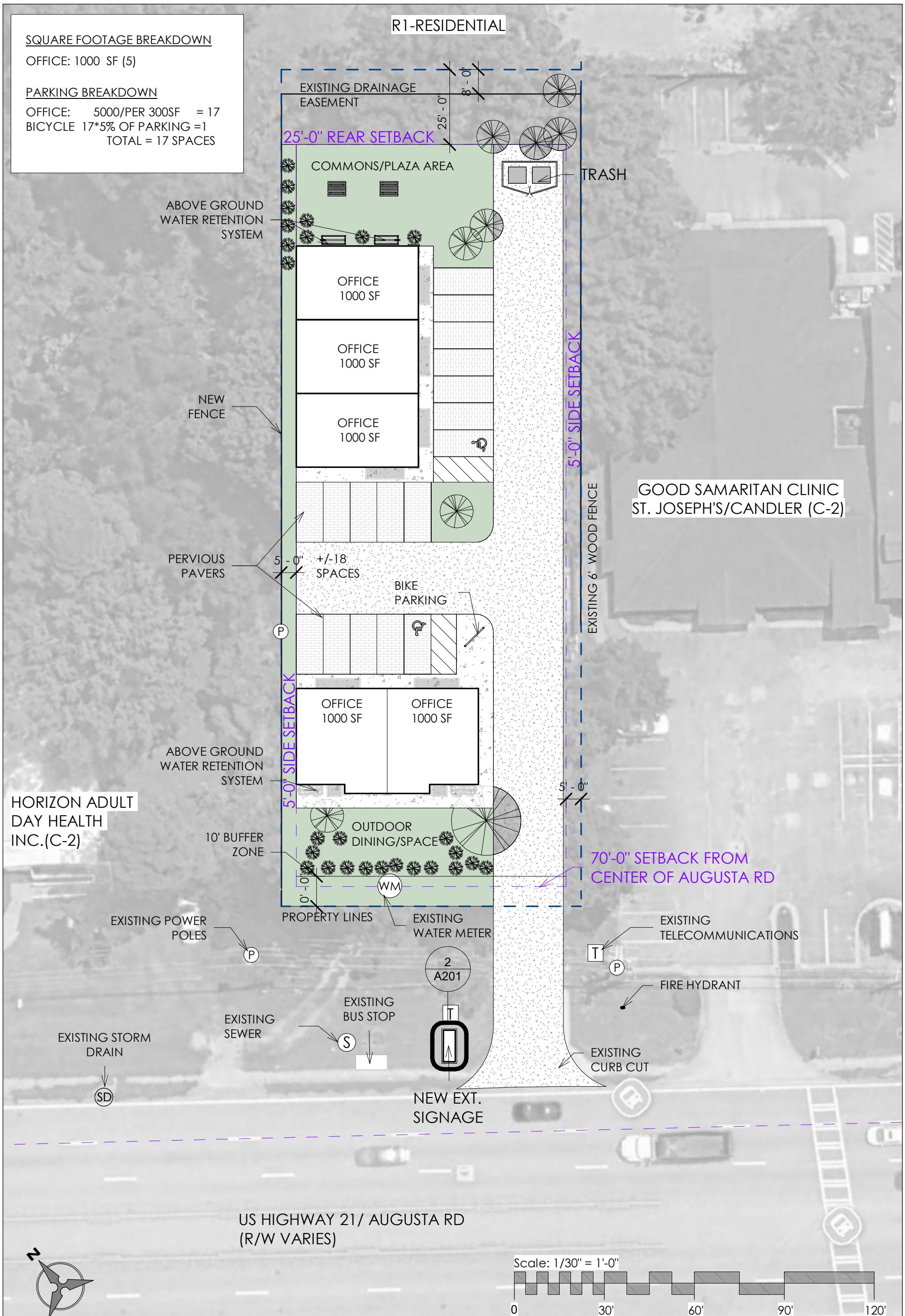
The retail facility is designed as a multi-tenant space, serving over 40,000 vehicles daily on Augusta Road, with traffic expected to increase as the educational complex becomes fully operational. The development will benefit from game day crowds at the football stadium and daily pedestrian and vehicle traffic from parents, students, and staff. In addition, the project also incorporates thoughtfully designed green open spaces that serve as shared common areas for users to gather, relax and engage.

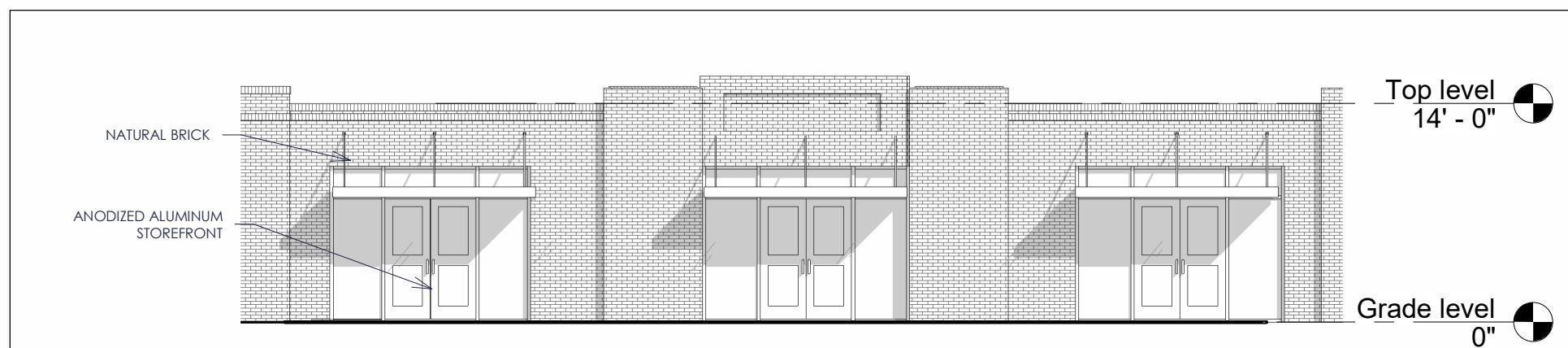
The property's proximity to established businesses including McDonald's, Zaxby's, Jiffy Lube, Baldino's, Wells Fargo, and the adjacent St. Joseph's Medical Group creates a synergistic commercial environment that enhances the viability of the retail development. The site's strategic location less than one mile from the Port of Savannah terminals and within 10 minutes of Savannah-Hilton Head International Airport further strengthens its commercial appeal.

The development represents a significant investment in the revitalization of this high-traffic commercial corridor, replacing an underutilized childcare facility with contemporary retail space designed to serve both the immediate educational community and the broader regional market accessing this major transportation hub.

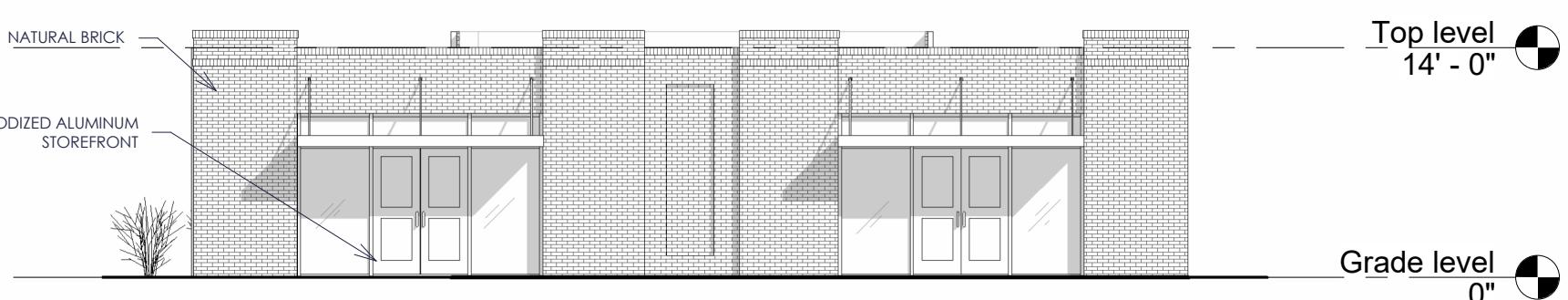
PROPERTY INFORMATION		CONTACT INFORMATION																												
ADDRESS: 4710 AUGUSTA RD GARDEN CITY , GA 31408		OWNER - HOME BUYERS OF SAVANNAH, LLC CONTACT: PATRICK HANLON PHONE: 912.513.8744 EMAIL:PATRICK@HOMEBUYERSOFSAVANNAH.COM																												
PIN: 60013 04008 ZONING: C-2 — HEAVY COMMERCIAL FLOOD ZONE: X ACRES: 0.64		ARCHITECT - ARCHITECTURE 101 CONTACT: MJ GIRAUT,AIA ROLE: PROJECT MANAGER PHONE: 912.674.3945 EMAIL: MJ@A101.DESIGN																												
DRAWING INDEX		LOCATION MAP																												
<table border="1"><thead><tr><th>SHEET NUMBER</th><th>SHEET NAME</th><th>SHEET ISSUE DATE</th></tr></thead><tbody><tr><td>General</td><td></td><td></td></tr><tr><td>G000</td><td>COVER SHEET</td><td>09/30/25</td></tr><tr><td>Architectural</td><td></td><td></td></tr><tr><td>SP100</td><td>EXISTING SITE PLAN</td><td>09/30/25</td></tr><tr><td>SP101</td><td>SITE PLAN</td><td>09/30/25</td></tr><tr><td>Architectural</td><td></td><td></td></tr><tr><td>A200</td><td>BUILDING ELEVATIONS</td><td>09/30/25</td></tr><tr><td>A201</td><td>EXTERIOR SIGNAGE</td><td>09/30/25</td></tr></tbody></table>		SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	General			G000	COVER SHEET	09/30/25	Architectural			SP100	EXISTING SITE PLAN	09/30/25	SP101	SITE PLAN	09/30/25	Architectural			A200	BUILDING ELEVATIONS	09/30/25	A201	EXTERIOR SIGNAGE	09/30/25	 <p>PROJECT LOCATION</p>	
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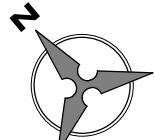
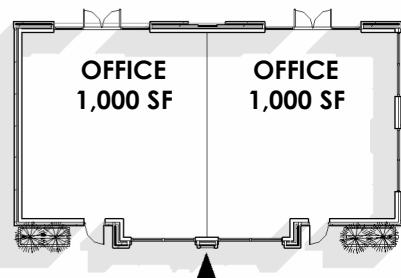
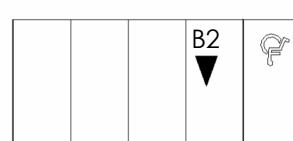
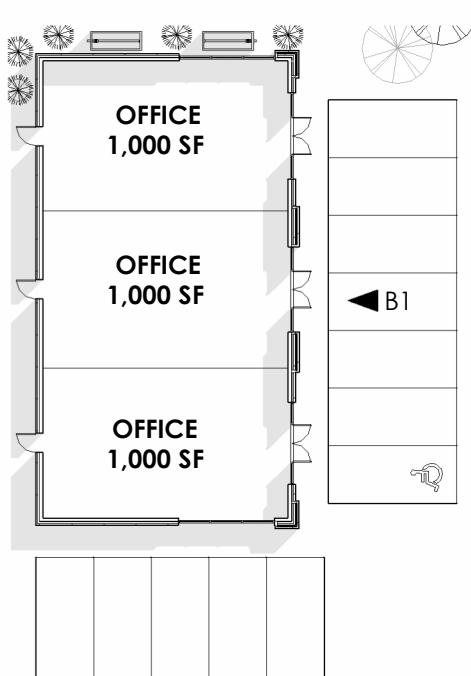
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MAIN FACADE - BUILDING 1 (B2)

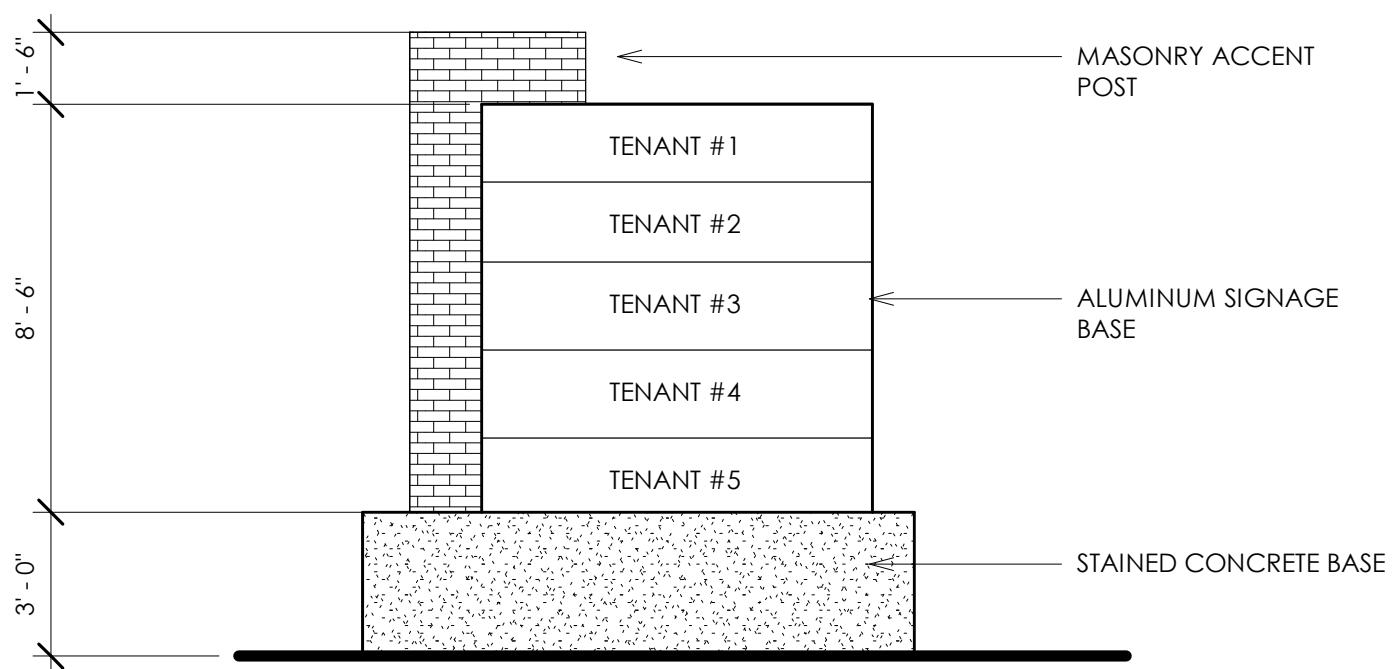


AUGUSTA RD FACADE - BUILDING 1 (B3)

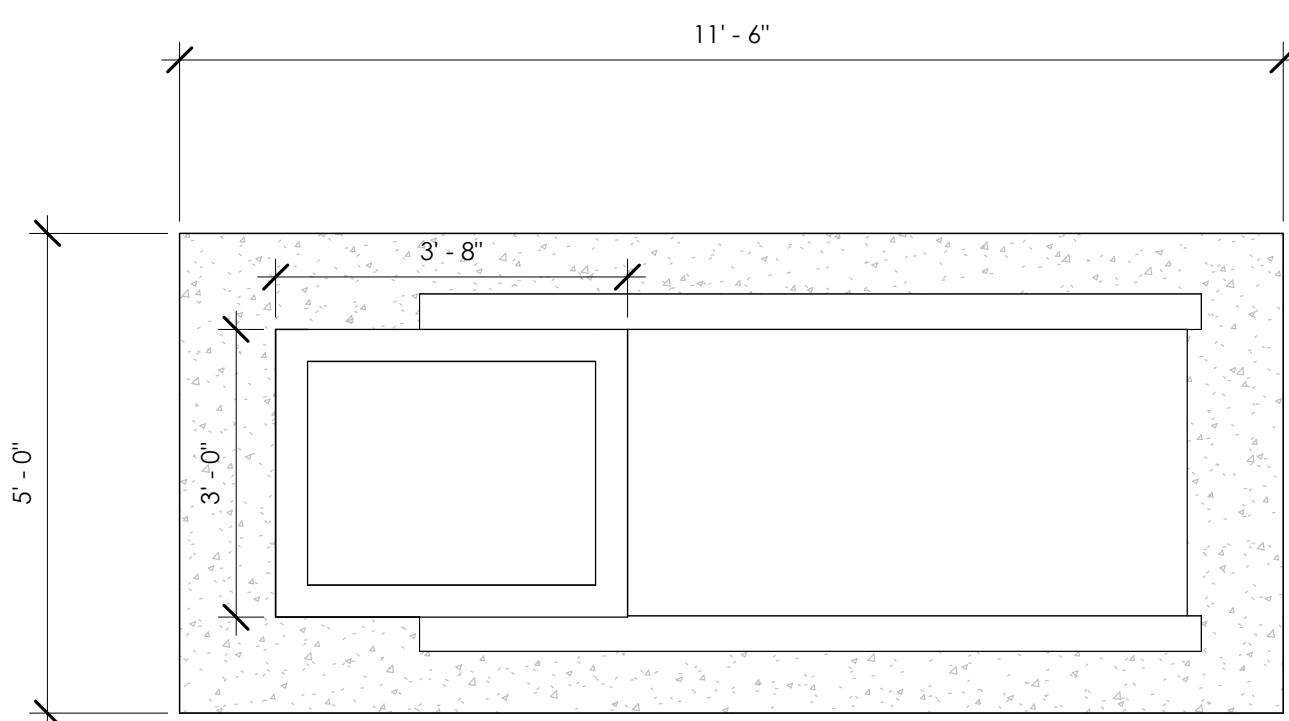


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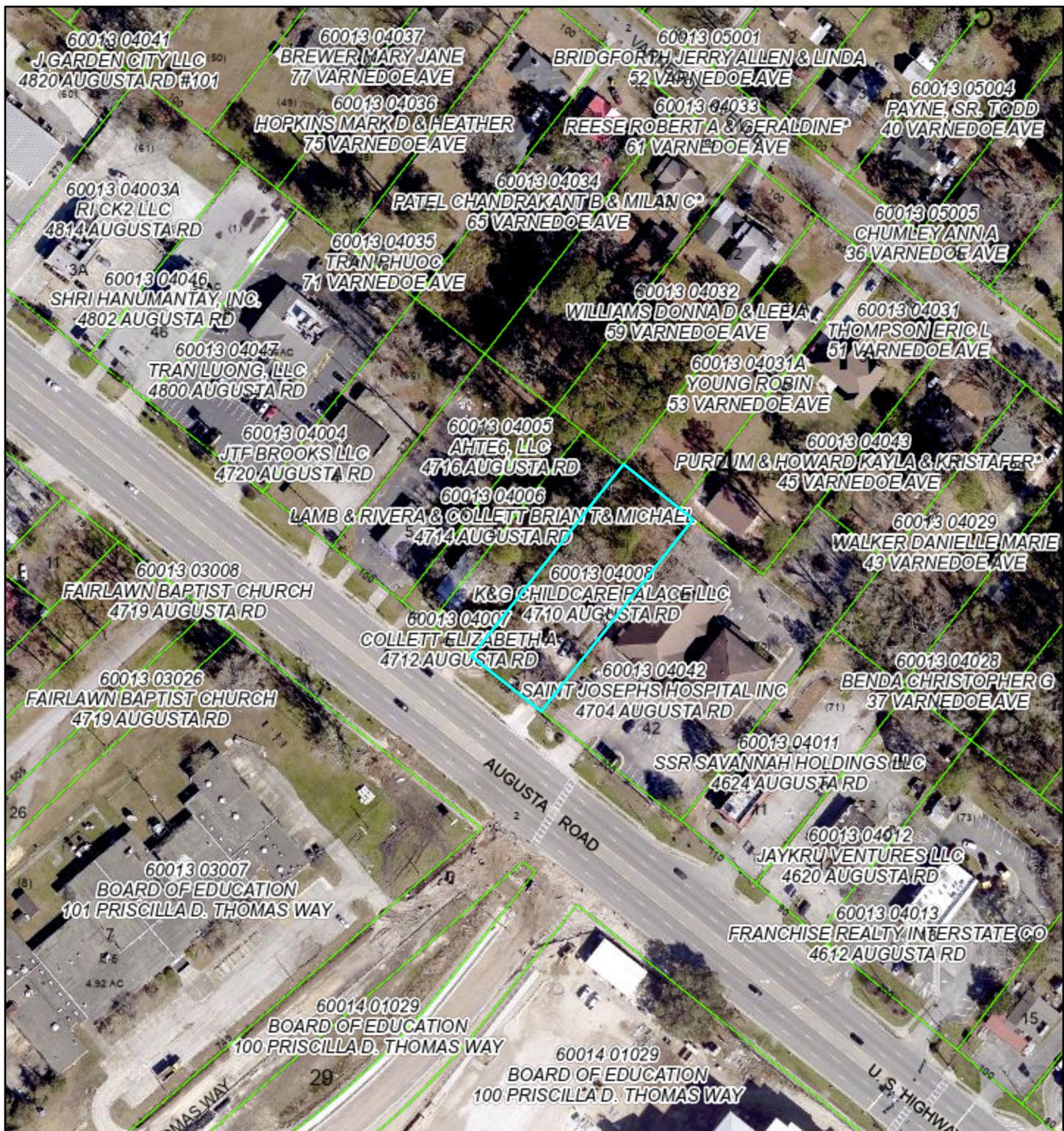
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EXTERIOR SIGNAGE - ELEVATION



EXTERIOR SIGNAGE - PLAN



10/16/2025, 4:02:16 PM

1:2,257

0 0.01 0.03 0.05 0.06 mi
0 0.03 0.05 0.1 km

Owner, PIN and Address Labels

Property Boundaries (Parcels)